



City of Caldwell

Planning and Zoning Department

MASTER LAND USE APPLICATION

This Master Land Use Application and specific land use checklists must be completed, with all required supplemental documents provided and fees paid, for an application to be considered complete and accepted. Once accepted, all applications go through a pre-screening prior to being routed for the initial review.

Failure to submit all requested items (in legible form) may delay the processing of your application. Additional information may be required during pre-screening or after the review of your proposal.

Please note that any land use action below marked with an asterisk () shall require public hearing(s).*

APPLICATION REQUESTS

Note: Please check all specific land uses actions below that you are applying for

- | | | |
|--|---|---|
| <input type="checkbox"/> Accessory Dwelling Unit (ADU) | <input type="checkbox"/> Mobile Home Park | <input checked="" type="checkbox"/> Subdivision Plats |
| <input type="checkbox"/> Administrative Determination | <input type="checkbox"/> Outdoor Dining Permit | <input checked="" type="checkbox"/> *Preliminary Plat |
| <input type="checkbox"/> *Annexation w/ Zoning | <input type="checkbox"/> Parcel Consolidation | <input type="checkbox"/> *Final Plat |
| <input type="checkbox"/> Business License Permit | <input type="checkbox"/> *Planned Unit Development (PUD) | <input type="checkbox"/> *Short Plat (Regular) |
| <input type="checkbox"/> *Certificate of Appropriateness | <input type="checkbox"/> New | <input type="checkbox"/> *Short Plat (Condo) |
| <input type="checkbox"/> *Comprehensive Plan Map Amendment | <input type="checkbox"/> PUD Modification | <input type="checkbox"/> Plat Modification ³ |
| <input type="checkbox"/> *Deannexation | <input type="checkbox"/> Public Art / Murals | <input type="checkbox"/> *Replat |
| <input type="checkbox"/> Design Review | <input type="checkbox"/> *Rezone (Zoning Map Amendment) | <input type="checkbox"/> Time Extension |
| <input type="checkbox"/> *Development Agreement | <input type="checkbox"/> Signs ¹ | <input type="checkbox"/> Renewal |
| <input type="checkbox"/> New | <input type="checkbox"/> Site Plan / Landscape Plan Review ² | <input type="checkbox"/> Temporary Use Permit |
| <input type="checkbox"/> Modification | <input type="checkbox"/> *Special Use Permit (SUP) | <input type="checkbox"/> New <input type="checkbox"/> Renewal |
| <input type="checkbox"/> Termination | <input type="checkbox"/> New | <input type="checkbox"/> Mobile Food Unit |
| <input type="checkbox"/> Home Occupation Permit | <input type="checkbox"/> Modification | <input type="checkbox"/> Temporary Use Facility |
| <input type="checkbox"/> New | <input type="checkbox"/> Time Extension | <input type="checkbox"/> Transient Merchant Facility |
| <input type="checkbox"/> Renewal | | <input type="checkbox"/> Traffic Impact Study Review |
| <input type="checkbox"/> Lot Line Adjustment | | <input type="checkbox"/> *Variance |
| <input type="checkbox"/> Lot Split | | <input type="checkbox"/> *Zoning Text Amendment |
| <input type="checkbox"/> Administrative | | |
| <input type="checkbox"/> Simple | | |

¹Freestanding, post/pole, or monument signs less than 6' in height. All other signs must be submitted through the building department.

²Used when not associated with other land use applications, building permits, or construction drawing submissions.

³Replats are not considered plat modifications.



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PROJECT and SITE/PROPERTY INFORMATION

Project or Business Name: TIMBERS SUBDIVISION

Site Address (s):
 2618 South KCID RD, CALDWELL, IDAHO 3605

Suite #:

Parcel #(s):
 R35852

Total Acres:
 15.89 ACRES

General Location of Site:

KCID ROAD AND LINDEN STREET

Current Zoning of Parcel(s):
(check all that apply)

- RS-1 RS-2 R-1 R-2 R-3 C-1 C-2 C-3 C-4 C-C
 M-1 M-2 I-P A-D C-D H-D P-D T-N H-C
 County Zone: _____

Overlay Districts:
(if applicable)

- APO-1 APO-2 HD-1 City Center Indian Creek Corridor
 City Center Local Historic Area None

Is Parcel(s) in Floodplain:

- Yes No

Description of Proposed Project / Request:

The Timbers Subdivision requests to divide the existing lot into six parcels, as detailed in the preliminary plat. One parcel will host a pressurized irrigation facility, one will house the existing Montana Timber Productions (MTP) building, and two will serve existing staging areas. All parcels will retain M-1 Light Industrial zoning. Existing houses on the north side will be removed. A private lane will provide east-west access across the property, with water and sewer lines beneath it. Access from Linden Street is not proposed, though Linden's south side will be widened per City of Caldwell standards.



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APPLICANT INFORMATION:

Name: John Giuliani

Company Name (if applicable): MTP Acquisition Linden LLC

Owner Authorized Agent Purchaser

Mailing Address: 2618 S KCID RD, Caldwell ID 83605

Phone: 406-546-1331

Email: jgiuliani@montanatimberproducts.com

PROPERTY OWNERS' INFORMATION

(If an LLC, please provide documentation of being an authorized signer)

Name: MTP Acquisition Linden LLC

Mailing Address: 2618 S KCID RD, Caldwell ID 83605

Phone: 406-546-1331

Email: jgiuliani@montanatimberproducts.com

DESIGNATED CONTACT PERSON

(Who will receive and disseminate all correspondence from the city)

Same as:

Applicant Property Owner Other

Name: Daniel B. Sharp P.E.

Company Name (if applicable): NOESIS ENGINEERING SERVICES, P.C.

Mailing Address: 1712 Cabellaro Drive, Ammon ID, 83406

Phone: 208-932-2720

Email: dsharp@noesis.us



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CONTRACTOR / DEVELOPER INFORMATION

Name: Roy Moore

Company Name (if applicable): M3 Construction, LLC

Mailing Address: 9169 West State Street #253, Boise, ID, 83714

Phone: 208-585-8978

Email: roy@constructionbym3.com

ARCHITECT INFORMATION

Name:

Company Name (if applicable):

Mailing Address:

Phone:

Email:

ENGINEER INFORMATION

Name: Daniel Sharp P.E. (NOESIS ENGINEERING SERVICES_

Mailing Address: 1712 Cabellaro Drive, Ammon, ID, 83406

Phone: 208-932-2720

Email: dsharp@noesis.us

LANDSCAPE ARCHITECT INFORMATION

Name: John Roters

Company Name (if applicable): South Beck & Baird Landscape Architecture

Mailing Address: 2002 S Vista Ave, Boise, ID 83705

Phone: 208-342-2999

Email: ajohnston@sbbgo.com



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ACKNOWLEDGEMENTS

- By signing this application, I authorize employees/agents of the City to enter onto the property that is the subject of this application during regular business hours. The sole purpose of entry is to make an examination of the property that is necessary to process this application.
- I certify that I am the owner of this property or the owner's authorized agent. If acting as an authorized agent, I further certify that I have full power and authority to file this application and to perform, on behalf of the owner, all acts required to enable the jurisdiction to process and review such an application. I will comply with all provisions of the law and ordinance governing this type of application.
- I certify that the information furnished by me as part of this application is true and correct to the best of my knowledge.

I am the: Owner Authorized Agent

Applicant Signature: _____

Date: _____

11/12/2024

Printed Name: _____

John D. Cramer



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Online Application Submittal Instructions

The City of Caldwell Planning and Zoning Department utilizes an online application portal for submission of all applications, documents, plans, and payment of fees.

Step 1:

- Log in or create an account in Citizenserve ([Citizenserve Users Guide](#))
- Select your permit and/or application type and enter in all required information.

Step 2

- Pay fees online via Citizenserve. You will receive an email from Citizenserve directing you to make a payment once staff have reviewed your application.

Drawing Submittal Instructions:

1. All plan sheets must be uploaded in PDF format only (no CAD, JPEG, TIFF, PNG, etc.)
2. All plan sheets must be to scale.
3. All plan sheets must be uploaded to Citizenserve.
1. All applications, checklists, calculations, reports, drawings, plans, and other supporting documents must be uploaded as single-sided pdf's and must be legible and in a high-definition format.



PRELIMINARY PLAT CHECKLIST

The following items shall be included in the application submittal. Additional information may be required upon official review of the plans. Please check the box for each item listed below to confirm submission of the item listed.

SECTION 1: Filing Requirements

- All applications, checklists, plans and supporting documents must be submitted through our [Online Permit Center](#).
- All applications, checklists, plans and supporting documents shall follow the naming schematic as provided in Section 8.
- Filing fees (see Section 2)
- Documents shall be formatted in accordance with Section 7.

SECTION 2: Filing Fees

Refer to the Planning Department fee list for most current fees.

- Permit fees. Fees will be required to be paid once the application has been submitted and received by the department.

SECTION 3: Submittal Documents

The items listed below are considered a minimum. Additional information may be necessary for clarification during the review process.

- Master Land Use Application:** Copy of a completed and signed master land use application.
- Application Checklist:** Copy of a completed and signed application checklist.
- Copy of Deeds or Proof of Ownership:** If the owner is a corporation or LLC, proof of the representative for the LLC or corporation will be required.
- Property Owner Acknowledgement:** Signed [Property Owner Acknowledgement form](#) (if applicable)
- Neighborhood Meeting Information:** This verification shall include:
 - A copy of the letter mailed by the applicant (min. 15 days prior to meeting);
 - A copy of the 500' mailing list indicating all notified owners, residents and associations; and
 - A copy of the sign-up sheet from the meeting and certification with your signature

Note: Neighborhood meetings must have been held within four (4) months of application submission.



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- Legal Descriptions:** Attach a legal description of the property including metes and bounds to the centerline of all adjacent rights of ways. All legal descriptions shall be certified by a land surveyor registered in the State of Idaho.
- Vicinity Map (to scale).** Provide a site/vicinity map that shows the location of the subject property, surrounding properties, and streets.
- Project Narrative.** Narrative fully describing the application request(s), the purpose of the development, existing site conditions, and what is being proposed.
- Preliminary Plat:** High resolution preliminary plat, to scale. See Requirements for Contents of Plat in **Section 4.**
- Landscape Plan:** High resolution landscape plan, to scale. See Requirements for “Contents of Landscape Plan” in Section 5.
- Site Plan (to scale):** Site plan, drawn to scale, showing.
 - Location of all property lines and dimensions.
 - All streets with street names
 - All existing and proposed buildings and structures
 - All setbacks
 - All utilities
 - All easements
- N/A **Building Elevations:** Colored concept elevations of all four (4) sides of buildings, indicating building heights, colors, materials, windows, doors, and architectural features.
- Site Photos:** Photographs of existing site conditions.
- Street Name Request Form:** A completed [street name request form](#). Below is a link for street and subdivision tables used for street naming approval. Names that are sound-alikes, duplicates, or names difficult to pronounce are not allowed. The table links are located just above the “Planning and Zoning Application Tracker.”
<https://www.canyoncounty.id.gov/elected-officials/commissioners/development-services/dsd-gis/>
- N/A **Open Space Exhibit:** Open space exhibit shall clearly delineate using colored shading, so it is readily identifiable. The open space exhibit shall contain a table identifying:
 - N/A The percentage and acreage of each individual areas of open space and if the open space is being calculated as qualified open space.
 - N/A The total percentage and acreage of code required open space and qualifying open space in relationship to the gross area of the project.
 - N/A The total percentage and acreage of proposed open space and qualifying open space in relationship to the gross area of the project.
- Landscape Exhibit:** Colored landscape exhibit showing all the open space, plantings, amenities, and pathways, and overlaid with dark colored phasing lines.



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SECTION 4: Preliminary Plat Content

- Plans to Scale:** All mapped data for the same plat shall be drawn at a scale suitable to ensure the clarity of all lines, bearings and dimensions, said scale typically being one hundred feet to an inch (100' = 1"). Whenever practical, scales shall be adjusted to produce an overall drawing measuring eighteen inches by twenty- four inches (18" x 24"), but not exceeding forty-two inches by sixty inches (42" x 60").
- Subdivision Name and Location:** The proposed subdivision name and location shall be provided on the plat and shall meet the following:
 - Said name shall not being a duplicate name of any other recorded subdivision within Canyon County or any of the cities in Canyon County.
 - Location of subdivision by section, township, and range; reference by dimension and bearing to a combination of two (2) section corners, quarter section corners, or recorded monuments. (Ord. 3374, 12-6-2021).
- Contact Information:** Name, address and phone number of property owner(s), subdivider, engineer, planner, and surveyor who prepared the plat, and any other professional persons involved in the subdivision.
- Scale, North Arrow and Plan Preparation Date:** Scale, north arrow and date of preparation including dates of any subsequent revisions.
- Vicinity Map (scaled):** Vicinity map drawn to a maximum scale of one-inch equals five hundred feet (1" = 500'), clearly showing the proposed subdivision or planned unit development configuration in relationship to, as well as, identifying and showing lot lines and street connections of all adjacent subdivisions, all arterial streets, all collector streets and bodies of water.
- Topography:** Topography based on NAVD 88 datum shown on the same map as the proposed subdivision layout. Contour lines shown at five-foot (5') intervals where land slope is greater than ten percent (10%) and at two-foot (2') intervals where land slope is ten percent (10%) or less, referenced to an established benchmark, including location and elevation.
- Existing Water:** Location of existing water wells and type, streams, canals, irrigation laterals, drainage facilities, private ditches, washes, lakes, and other water features; direction of flow; regulatory floodplain and floodway boundaries if any; and location and extent of known areas subject to inundation if any.
- Streets and Other Important Features:** Location, widths and names of all existing streets and location, arrows indicating direction of slopes, type of surface and existence of any curb, gutter, and/or sidewalks. Other important features such as railroads, utility rights of way and easements of public record, public areas, permanent structures to remain including water wells, and municipal corporation lines within or adjacent to the tract.
- Recorded Subdivisions with Common Boundaries:** Name, book, page number and lot line layout of any recorded adjacent subdivision having a common boundary with the tract.
- Table Schedule:** Table indicating:
 - Existing zoning classification of the tract with any requested zoning changes.
 - Total acreage of the entire subdivision
 - Total number of buildable lots by land use type.



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- Total number of common lots.
- Total gross acreage
- Minimum buildable lot size
- Average buildable lot size
- Dwelling units per gross acre.
- Subdivision Boundary:** The subdivision boundary with dimensions and bearings shall be based on an actual recorded field survey, performed within six (6) months of the preliminary plat application, and shall include the professional land surveyor stamp. Boundary problems shall be resolved prior to preliminary plat submittal. Stamping of the preliminary plat by the professional land surveyor pertains only to the boundary survey and should be noted as such.
- Public Dedications of Rights of Way or Easements:** Proposed location, width, dimensions and bearings, and use of all proposed easements within the subdivision. All existing easements with location, width, dimensions, bearings, use and instrument numbers. Designation of all land to be dedicated or reserved for public use with purpose indicated.
- Names, Addresses, and Tax Parcel Numbers:** Names, addresses and tax parcel numbers for all property owners within five hundred feet (500') of the exterior boundary of the subdivision, displayed visually on the plat in the appropriate locations.
- Utilities:** Storm drains and water supply mains, both proposed and existing, within and immediately adjacent to the subdivision. Approximate location of existing sanitary sewer facilities, manholes, lines, and any other sewer related facilities within and adjacent to the subdivision.
- Proposed Street Layout:** Proposed street layout, including location, width and proposed names of streets, common driveways, alleys, major pathways, micro pathways, and easements; pedestrian and vehicular connections to adjoining properties.
- Lot Layout:** Lot layout with dimensions to scale; dimensions of all corner lots and lots of curvilinear sections of streets; each lot and block numbered individually; each lot labeled with its individual lot acreage and square footage.
 - Graphically depict the minimum setbacks and describe them in legend.
 - Identify zero lot line properties.
- Land Use and Zoning Classification (for each area):** If plat includes land for which multi-family, commercial, industrial, or mixed use is proposed, such areas shall be clearly designated together with existing zoning classification and status of zoning change, if any.
- N/A **Special Development Areas:** Appropriate information that sufficiently details the proposed subdivision within any special development area, such as:
 - N/A Hillside
 - N/A Floodplain
- On and Off-Site Improvements:** The proposed on and off-site improvements including water supply systems, sanitary sewer systems and stormwater drainage.
- Access and Approaches:** Width, spacing and location of all proposed approaches to the subdivision with type (example: full approach, right in/right out approach) of approach indicated.



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- Proposed Utility Methods:** Proposed utility methods for the following:
 - Sewage Disposal:** Such evidence relative to the design flows within the subdivision, and operation of the sanitary sewage facilities proposed. A statement as to the type of facilities proposed shall appear on the preliminary plat.
 - Water Supply:** Such evidence relative to the design, operation, volume and quality of the water supply and facilities proposed. A statement as to the type of facilities proposed shall appear on the preliminary plat.
 - Stormwater Disposal:** Such evidence relative to the design and operation of the stormwater disposal system. A statement as to the type of facilities proposed, and an indication of all areas to be used for treatment/disposal shall appear on the preliminary plat. All stormwater designs shall comply with the city's most recent "Stormwater Management Manual" as adopted by council as of the date of preliminary plat application submittal.
 - Irrigation System:** A statement describing the proposed irrigation system, consistent with section 10-07-12 of the Caldwell City Code, shall appear on the preliminary plat.
- N/A **Phasing Plan (if multi-phase development):** A colored phasing plan showing lots, streets, lot and block numbers, and street names. Include a table schedule indicating the following:
 - N/A Number # of lots per phase.
 - N/A Number of dwelling units and type of dwelling units per phase
- Acknowledgement:** Note acknowledging that, to the best of the preparer's knowledge, the preliminary plat meets all requirements of city code; or if said plat does not meet all requirements then the plat has been submitted as a planned unit development and any and all requested exceptions have been listed in detail as part of the planned unit development application or it is not a planned unit development but any exceptions as allowed in this chapter have been noted on the preliminary plat and specifically requested as a part of the application.

SECTION 5: Landscape Plan Content

- Plan Preparation:** Landscaping plans shall be prepared by a landscape architect, a landscape designer, or a qualified nursery person; Landscape plans shall be stamped by a licensed landscape architect.
- Plan Size:** Detailed plan at a scale no smaller than one inch equals fifty feet (1" = 50')
- Streets, Setbacks and Easements:** Show all streets, setbacks, and easements, Streets shall be identified by name. Dimension and label all right-of-way, setbacks, and easements.
- Sight Visibility Triangles:** Show and label all sign visibility triangles.
- Storm Water Facilities and Berms:** Show all storm water facilities and berms. Indicate berm heights, slopes, and proposed landscaping.



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- N/A **Off-Street Parking & Bicycle Parking:** Include the following:
- N/A A note listing the required number of parking spaces and bicycle parking spaces.
 - N/A A note listing the provided number of parking spaces and bicycle parking spaces. The provided number of parking spaces and bicycle parking spaces shall equal or exceed the required number of parking spaces and bicycle parking spaces.
 - N/A Circulation area required to serve the parking spaces with typical dimensions.
 - Existing Trees and/or Shrubs:** Location of all existing trees and shrubs, and the size and type of any existing trees and shrubs. Indicate by note which trees and/or shrubs will remain, if any.
 - Street Landscape Buffers:** Location and width of all street landscape buffers. Include the location of all sod, trees, shrubs, plantings, and other materials proposed. Provide calculation for the minimum percentage of sod. All plantings shall be proposed in a way that appropriately landscapes the entire length of the buffer and shall not be clustered all in one single location.
 - Planting Schedule:** A table indicating the type of trees, shrubs, and other vegetation. Indicate spacing, tree caliper, height and width at full growth, and gallon size of shrubs.
 - Other Landscape Amenities:** Provide location, size, type, and description of all other landscape improvements such as berms, decorative rock, boulders, etc. For berms, please indicate the height and slope of the berm.
- N/A **School Bus Stops:** Location of school bus stop areas within a common lot or common easement.
- N/A **Public Transit Stops:** Location of any public transit
- N/A **Land Use Buffers:** Location and width of all landscape buffers between different land uses. Include the location of all sod, trees, shrubs, plantings, and other materials proposed.
- N/A **Parking Lot Landscaping:** Location and size of all landscape islands within parking lots, Include the location, type, and size of all landscaping materials proposed.
- N/A **Trash Enclosures:** Location of all trash enclosures, to include details about screening and landscaping.
- N/A **Screening:** Location of all mechanical equipment and the type of screening to be used.
- Fencing:** Location, height, color, and materials for all existing or proposed fencing.
 - Existing and Proposed Structures:** Location of all existing and proposed structures and a note of whether or not the existing structures will remain.
- N/A **Pathways:** Location, width, and type of pathways, along with identification of all required pathway materials and landscaping callouts:
- Micro Pathways
 - Major Pathways
 - Public Pathways
 - Regional Pathways
 - Irrigation Pathways
 - Indian Creek Corridor Pathways (if applicable)
- N/A Include note that all pathways will be maintained by the homeowner's association.



- Public Amenities:** Location, size, and types of new structures for recreational use (i.e., gazebos, water features, picnic areas, shuffleboard, etc.)

SECTION 6: Information Tables

GENERAL PROJECT INFORMATION	
Type of land uses within subdivision:	<input type="checkbox"/> Residential only <input type="checkbox"/> Commercial only <input checked="" type="checkbox"/> Industrial only <input type="checkbox"/> Mixed-use (<i>mix of residential and non-residential uses</i>)
Has your development / subdivision name, street names, and lot and block numbers been approved by the City of Caldwell Mapping Division?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Will be submitted with this packet <i>If yes, have you made any changes or modifications to the previously approved pre-plat approved by Mapping?</i> <input type="checkbox"/> Yes <input type="checkbox"/> No
Will the subdivision be phased?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, how many phases are proposed?
Development timeline for full build out?	Completed within 18-24 months

LAND USE AND ZONING INFORMATION			
	Zoning Designation	Comp Plan Designation	Land Use
Existing (Subject Property)	M-1	Manufacturing & Production	Manufacturing
Proposed (Subject Property)	M-1	Manufacturing & Production	Manufacturing
North of Site	M-1	Manufacturing & Production	Residential
South of Site	M-1	Manufacturing & Production	Airport
East of Site	M-1	Manufacturing & Production	Empty
West of Site	M-1	Manufacturing & Production	Airport

PROJECT SPECIFIC INFORMATION			
	Number of Lots	Acres	Percent of "Net" Acres <i>Net acreage is the total acreage minus any public streets and public rights of way</i>
Residential Lots	0	0	0
Commercial Lots	0	0	0
Industrial Lots	5	13.81	99.78
Common Lots	1	0.09	0.22



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EXISTING AND PROPOSED BUILDING DATA						
	# of EXISTING buildings	# of PROPOSED buildings	# of EXISTING dwelling units	# of PROPOSED dwelling units	Max. Building Height	Total GROSS square footage of buildings
Residential:	2	0	2	0	N/A	N/A
Single-family (detached) homes	2	0	2	0	N/A	N/A
Townhomes	0	0	0	0	N/A	N/A
Two-family (<i>duplex</i>)	0	0	0	0	N/A	N/A
Three-family residential (<i>triplex</i>)	0	0	0	0	N/A	N/A
Four, five and six family (<i>fourplex, five plex, and six plex</i>)	0	0	0	0	N/A	N/A
Multi-family (7 or > dwelling units) in a single building	0	0	0	0	N/A	N/A
Commercial	0	0	N/A	N/A	N/A	N/A
Industrial	0	0	N/A	N/A	N/A	43000
Type of Commercial or Industrial Buildings:	Truss Manufacturing		<input checked="" type="checkbox"/> Single-tenant buildings <input type="checkbox"/> multi-tenant buildings			

DENSITY AND OPEN SPACE				
Dwelling units per gross acre (Density):	Max. Allowed		Proposed	
		N/A		N/A
Total Open Space	% Required		% Proposed	Acreage Proposed
		N/A		N/A
Total "Qualifying" Open Space	% Required		% Proposed	Acreage Proposed
		N/A		N/A



PARKING, LOADING AND PEDESTRIAN AMENITIES		
	Min. # Required	# Proposed
Electric vehicle parking spaces	N/A	N/A
Off-street parking spaces	N/A	N/A
Commercial loading spaces	N/A	N/A
Industrial loading spaces	N/A	N/A
Bicycle parking spaces:	N/A	N/A
Public Transportation:	<p><i>Describe any public transportation facilities that are proposed.</i></p> <p>Linden Street will be expanded to meet City of Caldwell street standards. The expanded road will have a sidewalk and landscape strip</p>	
Public Amenities:	<p><i>Describe any public amenities that are being proposed.</i></p> <p>A public pressurized irrigation pump will be installed in lot 1 that will be dedicated to the city. The pump design is part of a different permit.</p>	



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LANDSCAPING AND PATHWAYS

Landscaping:	<p><i>Please check all locations where landscaping will be provided</i></p> <p><input type="checkbox"/> Parking lot <input type="checkbox"/> Common areas <input checked="" type="checkbox"/> Street landscape buffers</p> <p><input type="checkbox"/> Between different land uses <input type="checkbox"/> Adjacent to Pathways</p> <p><input type="checkbox"/> Around building exterior</p> <p>Other _____</p>
Major Pathways:	<p><i>Describe location, width, and landscaping.</i></p> <p>N/A</p>
Micro Pathways:	<p><i>Describe location, width, and landscaping.</i></p> <p>N/A</p>
Public or Regional Pathways	<p><i>Describe location, width, landscaping, and fencing per Bicycles and Pathways Master Plan.</i></p> <p>N/A</p>



LANDSCAPE STREET BUFFERS

Location (Enter Street Name)	Min. Width Required	Proposed Width	% of Sod Proposed	# of Trees Proposed	Min. Tree Spacing (in feet)	# of Shrubs Proposed	Min. Shrub Spacing (in feet)
Linden Street	40' (centerline to ROW)	40	70%	31	35	160	7

LAND USE BUFFERS

Location	Proposed Buffer Width	% of Sod Proposed	# of Trees Proposed	Min. Tree Caliper at Planting	Min. Tree Spacing (in feet)	# of Shrubs Proposed	Size of Shrubs at Planting (in gallons)	Min. Shrub Spacing (in feet)
North Property Line	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
South Property Line	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
East Property Line	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
West Property Line	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

SIDEWALKS

Location (Street Name)	Existing Sidewalk?	Proposed Width	Type of Proposed Sidewalk
Linden Street	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If existing, specify width:	5'	<input type="checkbox"/> Meandering <input type="checkbox"/> Attached <input checked="" type="checkbox"/> Detached
	<input type="checkbox"/> Yes <input type="checkbox"/> No If existing, specify width:		<input type="checkbox"/> Meandering <input type="checkbox"/> Attached <input type="checkbox"/> Detached
	<input type="checkbox"/> Yes <input type="checkbox"/> No If existing, specify width:		<input type="checkbox"/> Meandering <input type="checkbox"/> Attached <input type="checkbox"/> Detached
	<input type="checkbox"/> Yes <input type="checkbox"/> No If existing, specify width:		<input type="checkbox"/> Meandering <input type="checkbox"/> Attached <input type="checkbox"/> Detached



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UTILITIES INFORMATION	
Domestic Water:	<input type="checkbox"/> Individual Domestic Well – How Many?
	<input type="checkbox"/> Centralized Public Water System
	<input checked="" type="checkbox"/> City Municipal Water System
	<input type="checkbox"/> N/A
	Nearest Water Line Connection: KCID, LINDEN, SW PROPERTY LINE
Sewer (Wastewater):	<input type="checkbox"/> Individual Septic
	<input checked="" type="checkbox"/> City Municipal Sewer
	<input type="checkbox"/> N/A
	Nearest Sewer Line Connection: KCID, LINDEN, SW PROPERTY LINE
Irrigation:	<input checked="" type="checkbox"/> Surface
	<input type="checkbox"/> Irrigation Well
	<input type="checkbox"/> Pressurized
	<input type="checkbox"/> Gravity
	<input type="checkbox"/> N/A
	Nearest Irrigation Connection: Canyon Hill Lateral to SW
Irrigation District: Pioneer Irrigation District	
Stormwater:	<input type="checkbox"/> Swales
	<input type="checkbox"/> Ponds
	<input type="checkbox"/> Borrow Ditches
	<input checked="" type="checkbox"/> Other, Explain: Underground Gravel Trenches
Stormwater Management:	Does the site disturb one or more acres of land? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Fire Suppression Water Supply Source:	KCID, LINDEN, SW PROPERTY LINE
Sources of Surface Water on or Nearby Properties (i.e., creeks, ditches, canals, lake, etc.):	Canyon Hill Lateral



**City of Caldwell
Planning and Zoning Department**

Phone: (208) 455-3021 | Web: www.cityofcaldwell.org

INFRASTRUCTURE, AND PUBLIC SERVICES INFORMATION	
Type of Site Access:	<input checked="" type="checkbox"/> Street Frontage
	<input type="checkbox"/> Easement If easement, specify width: _____ Instrument # _____
Street(s) Providing Access:	KCID
Will Secondary Access for Fire be Provided:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please describe:
Internal Roads:	<input type="checkbox"/> Public
	<input checked="" type="checkbox"/> Private
	<input type="checkbox"/> Internal Circulation
	<input type="checkbox"/> Road User's Maintenance Agreement Inst#
School Districts Serving this Location:	N/A <input type="checkbox"/> Caldwell School District
	N/A <input type="checkbox"/> Vallivue School District



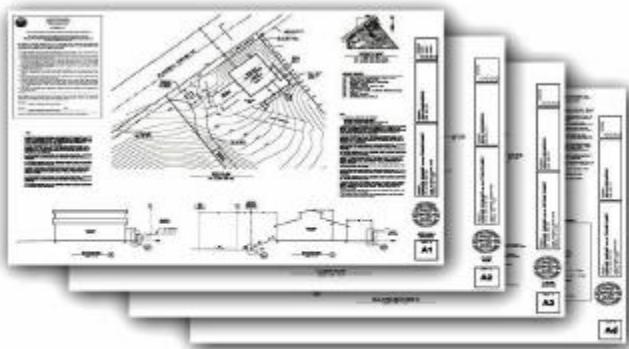
SPECIAL ON-SITE CHARACTERISTICS			
	Yes	No	If yes, explain:
Areas of Critical Environmental Concern?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Evidence of Erosion?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Fish Habitat?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Floodplain?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Riparian Vegetation?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Steep Slopes?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Streams/Creeks?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Unique Animal/Plant Life?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Unstable Soils?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Wildlife Habitat?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Historic Buildings or Features?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Describe any other unique site characteristics:	N/A		



SECTION 7: PDF Formatting Requirements

Portable Document Format (PDF) is the industry standard for electronic plans. The City of Caldwell only accepts PDF files for plan review. PDF files must be properly formatted as described below. Please read the instructions carefully. Improperly formatted plans can delay the plan review process for your project.

- Layers:** No multiple layers. Layers must be merged or flattened.
- Format:** Vector-based files are preferred given the ability to scale these files.
- Resolution:** Min. of 300 pixels per inch (PPI)
- Grouping:** Multiple sheet PDF (single file with multiple sheets)



plans.pdf (multiple sheets)

✓Correct

- Labeling:** Each sheet of the plans must be labeled with the project name, contractor, and address of the subject site.



SECTION 8: Application Processes

Application and document Submittal:

All applications, checklists, required documents and plans shall be submitted through the online portal. [Application fees](#) may also be paid for through the online portal.

NOTE: All plans and documents shall be labeled correctly by using the standard naming schematic and shall be tied to the correct “document source” as specified in Table 1 below.

The software provider recommends utilizing Google Chrome. If you have any issues uploading documents on the portal, please contact the support line at 1-800-325-9818.

Revised Plans or Document Submissions:

All revised plans shall be submitted through the online portal by going to your original application and clicking on it, then hitting the "upload documents" button.

NOTE: All revised plans shall be labeled correctly by using the standard naming schematic and shall be tied to the correct “document source” as specified in Table 1 below.

Application Prescreening:

Once your application and required documents have been submitted, submittals will go through an initial pre-screening process to check to ensure all required documents as listed on the checklists have been completed in their entirety and that all documents and plans are in a high-quality legible format. An application submission WILL NOT be considered accepted, and date stamped until it has completed the pre-screening process.

Scheduling Initial Hearing Dates:

The date of acceptance of an application is the date used to meet hearing deadlines for scheduling the initial TENTATIVE public hearing date.

Land use applications are not accepted until all required documentation has been submitted, fees have been paid, and the application submission has completed the “pre-screening” process.

NOTE: Hearing dates ARE NOT GUARANTEED AND ARE SUBJECT TO CHANGE OR DELAY based on the following:

- Current application backlog
- Number of hearings already scheduled for a particular date (only 2-3 hearings are scheduled per meeting)
- Outstanding redlines or correction items.



City of Caldwell
Planning and Zoning Department

Phone: (208) 455-3021 | Web: www.cityofcaldwell.org

- A land use application that was continued to a future hearing date (this may cause your application to get bumped out further)

Online Submission Troubleshooting:

1. I am having trouble uploading documents online?

The software provider recommends utilizing Google Chrome. If you have any issues uploading documents on the portal, please contact the support line at 1-800-325-9818.



**City of Caldwell
Planning and Zoning Department**

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TABLE 1: STANDARD DOCUMENT NAMING SCHEMATIC AND ASSOCIATED DOCUMENT SOURCE

CITY OF CALDWELL PLANNING AND ZONING - DOCUMENT NAMING SCHEMATIC		
Document Source	Initial Submittal Naming Schematic	Revised Plans Naming Schematic
Application	Application_ProjectName_V1	<p>Revised plans/documents shall be labeled correctly by using a standard naming schematic of the "Type of Plan or Document Name" followed by the version number (V2, V3, V4, V5).</p> <p align="center"><i>Example:</i> PrelimPlat__ProjectName_V2</p>
Application Checklist	Checklist_ProjectName_V1	
Building Elevations	BldgElevations_ProjectName_V1	
Deeds / Proof of Ownership	OwnershipProof_ProjectName_V1	
Development Agreement	DevAgreement_ProjectName_V1	
Final Plat	FinalPlat_ProjectName_V1	
Floor Plans	FloorPlan_ProjectName_V1	
Gates and/or Private Roads Exhibit	PrivateRoadsExh_ProjectName_V1	
Preliminary Plat	PrelimPlat_ProjectName_V1	
Landscaping Plans	LandscapePlan_ProjectName_V1	
Landscape Exhibit	LandscapeExh_ProjectName_V1	
Landscape Renderings (3D)	LandscapeRenderings_ProjectName_V1	
Legal Description (metes and bounds)	LegalDescription_ProjectName_V1	
List of Proposed Street Name Document	StreetNameList_ProjectName_V1	
Mapping Exhibit	MappingExh_ProjectName_V1	
Narrative	Narrative_ProjectName_V1	
Neighborhood Meeting Sign-in Sheet and Certification	NeighborhoodMtgCert_ProjectName_V1	
Neighborhood Meeting Mailing List	NeighborhoodMtgList_ProjectName_V1	
Neighborhood Meeting Letter Sent	NeighborhoodMtgLetter_ProjectName_V1	
Open Space Exhibit	OpenSpaceExh_ProjectName_V1	
Pathway Exhibit	PathwayExhibit_ProjectName_V1	
Phasing Plan (subdivision or development)	PhasingPlan_ProjectName_V1	
Planned Unit Development Amenities Exhibit	AmenitiesExh_ProjectName_V1	
Property Owner Acknowledgement	OwnerAck_ProjectName_V1	
Roundtable (Pre-App) Meeting Notes/Minutes	RoundTableMtgNotes_ProjectName_V1	
Sign Calculations	SignCalcs_ProjectName_V1	
Sign Elevations	SignElevations_ProjectName_V1	
Site Photos	SitePhotos_ProjectName_V1	
Site Plan	SitePlan_ProjectName_V1	
Street Elevation Renderings (3D)	StreetElevations_ProjectName_V1	
Traffic Impact Study	TIS_ProjectName_V1	
Vicinity Map	VicinityMap_ProjectName_V1	
Zoning Property Report	ZoningReport_ProjectName_V1	
Zoning Verification Letter	ZoningVerificationLtr_ProjectName_V1	



SECTION 9: Applicant Acknowledgement

- I acknowledge that all items on the checklist are included in the submittal package and that all documents have been submitted as single-sided, high-resolution pdf documents; and

- I acknowledge that I have read, understand, and am in compliance with all standards, terms, and requirements listed in Caldwell City Code;

- I acknowledge that the applicant or the applicant's representative IS REQUIRED to be present at all public hearings for this application; and

- I certify I am the:
 - Property Owner as the Applicant
 - Property Owner's Agent / Representative

Daniel B. Sharp
Applicant / Applicant's Representative Printed Name

11/18/2024
Date

Daniel B. Sharp, Noesis Engineering Services, P.C.
Applicant / Applicant's Representative Signature



INVOICE

Permit #:	SPP24-000006	
Address:	5104 E LINDEN ST	
Fee	Account Code	Amount
P&Z Fees - Preliminary Plat (Base Fee)	10180	2,688.00
P&Z Fees - Preliminary Plat (Add'l Fee of \$20.00 per lot, to include common lots)	10180	120.00
Fire Fees - Preliminary Plat (Base Fee)	22025	254.10
Fire Fees - Preliminary Plat (Add'l Fee of \$1.35 per lot to include common lots)	22025	8.10
Eng Fees - Preliminary Plat (Base Fee)	12511	675.28
Eng Fees - Preliminary Plat (Add'l Fee of \$22.51 per lot to include common lots)	12511	135.06
TOTAL		3,880.54

CANYON COUNTY LISTING - R35852 - 500 feet**July 1, 2024**

This information should be used for informational use only and does not constitute a legal document for the description of these properties. Every effort has been made to insure the accuracy of these data & is subject to change without notice; however, the Assessor's Office assumes no liability nor do we imply any particular level of accuracy. The Canyon County Assessor's Office disclaims any responsibility or liability for any direct or indirect damages resulting from the use of these property listings.

PIN	Owner Name	In Care Of	Address
35294000 0	5211 MODERN LANE LLC		2473 W SUCCESS WAY
35298010 0	BAILEY KENNETH		5109 E LINDEN ST
35297000 0	BAILEY KENNETH		5109 E LINDEN ST
35852010 0	CALDWELL CITY OF		PO BOX 1179
35849000 0	CALDWELL CITY OF		PO BOX 1179
35853000 0	CALDWELL CITY OF		PO BOX 1179
35851010 0	CALDWELL CITY OF		PO BOX 1179
35849011 0	CALDWELL CITY OF		PO BOX 1179
35300013 0	CALDWELL CITY OF		PO BOX 1179
35849012 0	CALDWELL CITY OF		PO BOX 1179
35851000 0	CALDWELL CITY OF		PO BOX 1179
35849013 0	CALDWELL CITY OF		PO BOX 1179
34338000 0	ENDURANCE HOLDINGS LLC		1977 E OVERLAND RD
34338011 0	ENDURANCE HOLDINGS LLC		1977 E OVERLAND RD
35297010 0	FULTON DAVID L		5115 E LINDEN ST
35298000 0	GONZALEZ FREDICK CAPUCHINO		5001 E LINDEN ST
35296000 0	GRT REALTY LLC		725 DEDHAM ST
35300014 0	GRT REALTY LLC		725 DEDHAM ST
35852000 0	MTP ACQUISITION LINDEN LLC		3605 BRAHMS WAY
34322000 0	NELSON ERIK L		2407 S KCID RD
34322010 0	RALPHS JACKIE		2319 S KCID RD

Fw: Egov Application Purchase - Order Number 157989592

From dsharp@noesis.us <dsharp@noesis.us>

Date Mon 7/1/2024 7:52 AM

To emery sharp <esharp@noesis.us>; rcheney@noesis.us <rcheney@noesis.us>

 2 attachments (121 KB)

R35852 - 500 ft Listing.xlsx; R02666010 - 500 ft Listing.xlsx;

Found it!

Dan Sharp, P.E.

Noesis Engineering Services, P.C.

208-932-2720

208-680-9575

From: Sergio Herrera <Sergio.Herrera@canyoncounty.id.gov>

Sent: Friday, June 21, 2024 9:33 AM

To: 'dsharp@noesis.us' <dsharp@noesis.us>

Subject: FW: Egov Application Purchase - Order Number 157989592

Hello Daniel,

I have attached the two listings you paid for and called me about yesterday.

Please let me know when you receive this email so I know you got both listings.

Thank you r02666

Sergio L. Herrera

GIS Mapping Technician

Certified Cadastral Specialist

Canyon County Assessor

sergio.herrera@canyoncounty.id.gov

Phone: 208-454-6629

Fax: 454-7349

-----Original Message-----

From: Assessor_NoReply@canyoncounty.id.gov <Assessor_NoReply@canyoncounty.id.gov>

Sent: Thursday, June 20, 2024 5:30 PM

To: IT App Dev <itappdev@canyoncounty.id.gov>; Assessor Website <2cAsr@canyoncounty.id.gov>;
eGov Purchases <egovpurchases@canyoncounty.id.gov>
Subject: Egov Application Purchase - Order Number 157989592

This email is to notify your office of a purchase through the Egov Payment Application

6/20/2024 11:30:00 PM
Order Number: 157989592

Client Details:

Daniel Sharp
1712 CABELLARO DR.
AMMON, ID 83406
Country: US

Phone: (208) 932-2720
Email: dsharp@noesis.us

Order Details:

1. Listings - Qty. 2

Listing Details:

Distance: 500 FEET
Parcel Number(s): R02666010
Jurisdiction: CITY OF CALDWELL

Total Amount Paid: \$21.08

*** This is an automatically generated email, please do not reply ***

07/11/2024

MTP ACQUISITION 460 FLORIDA LLC
2605 Arthur Street
Caldwell, ID 83605

RE: Neighborhood Meeting Notice for Timbers Subdivision

To whom it may concern,

You are invited to a neighborhood meeting to discuss a project we are proposing near your property. The purpose of the meeting is to discuss the project, answer any questions, and listen to your feedback and suggestions.

Meeting Date: July 29th, 2024

Meeting Time: 2:00 AM

Meeting Location: 5104 E Linden St, Caldwell, ID 83605

Project Summary: The proposed project is a subdivision of the 15.69 acre parcel, number R35852 located at 2618 S KCID Road. Currently, the parcel is used for Montana Timber Products facility, and has 2 existing residential buildings on the north side along Linden St. The entire parcel is currently zoned M-1 Light Industrial.

The proposed Timbers Subdivision will divide the lot into 6 parcels. Please see the proposed preliminary plat for specifics of size and location of the lots. One small lot will be allocated for a pressurized irrigation facility. One lot will be reserved for the existing Montana Timber Productions building, and 2 lots will be for the currently existing staging areas on the west and south of the MTP building. The proposed zoning for all lots will remain unchanged, M-1 Light Industrial.

The existing houses on the north side of the property will be removed as part of the subdivision. A private lane running from the east to west side of the current parcel, along the north side of the MPT building, will be constructed to allow access to the parcels that do not currently have access from KCID Rd. Water and sewer main lines will be added under this private lane to service the subdivision. No proposed lot will have access from Linden St. The south side of Linden St will be expanded to comply with the City of Caldwell Minor Arterial Street Standards.

If you would like to contact us ahead of the meeting, please feel free to reach us at 208-932-2720 or dsharp@noesis.us. We look forward to hearing from you.

Thank you,
Daniel Sharp, P.E.


208-932-2720
NOESIS Engineering Services
1712 Cabellaro Drive
Ammon, ID 83406

Fw: Egov Application Purchase - Order Number 157989592

From dsharp@noesis.us <dsharp@noesis.us>

Date Mon 7/1/2024 7:52 AM

To emery sharp <esharp@noesis.us>; rcheney@noesis.us <rcheney@noesis.us>

 2 attachments (121 KB)

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Found it!

Dan Sharp, P.E.

Noesis Engineering Services, P.C.

208-932-2720

208-680-9575

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To: 'dsharp@noesis.us' <dsharp@noesis.us>

Subject: FW: Egov Application Purchase - Order Number 157989592

Hello Daniel,

I have attached the two listings you paid for and called me about yesterday.

Please let me know when you receive this email so I know you got both listings.

Thank you r02666

Sergio L. Herrera

GIS Mapping Technician

Certified Cadastral Specialist

Canyon County Assessor

sergio.herrera@canyoncounty.id.gov

Phone: 208-454-6629

Fax: 454-7349

-----Original Message-----

From: Assessor_NoReply@canyoncounty.id.gov <Assessor_NoReply@canyoncounty.id.gov>

Sent: Thursday, June 20, 2024 5:30 PM

To: IT App Dev <itappdev@canyoncounty.id.gov>; Assessor Website <2cAsr@canyoncounty.id.gov>;
eGov Purchases <egovpurchases@canyoncounty.id.gov>
Subject: Egov Application Purchase - Order Number 157989592

This email is to notify your office of a purchase through the Egov Payment Application

6/20/2024 11:30:00 PM
Order Number: 157989592

Client Details:

Daniel Sharp
1712 CABELLARO DR.
AMMON, ID 83406
Country: US

Phone: (208) 932-2720
Email: dsharp@noesis.us

Order Details:

1. Listings - Qty. 2

Listing Details:

Distance: 500 FEET
Parcel Number(s): R02666010
Jurisdiction: CITY OF CALDWELL

Total Amount Paid: \$21.08

*** This is an automatically generated email, please do not reply ***

07/19/2024

MTP ACQUISITION 460 FLORIDA LLC
2605 Arthur Street
Caldwell, ID 83605

CORRECTION

RE: Neighborhood Meeting Notice for Timbers Subdivision

To whom it may concern,

You are invited to a neighborhood meeting to discuss a project we are proposing near your property. The purpose of the meeting is to discuss the project, answer any questions, and listen to your feedback and suggestions.

Meeting Date: July 29th, 2024

Meeting Time: 2:00 AM-PM

Meeting Location: 5104 E Linden St, Caldwell, ID 83605

Project Summary: The proposed project is a subdivision of the 15.69 acre parcel, number R35852 located at 2618 S KCID Road. Currently, the parcel is used for Montana Timber Products facility, and has 2 existing residential buildings on the north side along Linden St. The entire parcel is currently zoned M-1 Light Industrial.

The proposed Timbers Subdivision will divide the lot into 6 parcels. Please see the proposed preliminary plat for specifics of size and location of the lots. One small lot will be allocated for a pressurized irrigation facility. One lot will be reserved for the existing Montana Timber Productions building, and 2 lots will be for the currently existing staging areas on the west and south of the MTP building. The proposed zoning for all lots will remain unchanged, M-1 Light Industrial.

The existing houses on the north side of the property will be removed as part of the subdivision. A private lane running from the east to west side of the current parcel, along the north side of the MPT building, will be constructed to allow access to the parcels that do not currently have access from KCID Rd. Water and sewer main lines will be added under this private lane to service the subdivision. No proposed lot will have access from Linden St. The south side of Linden St will be expanded to comply with the City of Caldwell Minor Arterial Street Standards.

If you would like to contact us ahead of the meeting, please feel free to reach us at 208-932-2720 or dsharp@noesis.us. We look forward to hearing from you.

Thank you,

Daniel Sharp, P.E.

208-932-2720
NOESIS Engineering Services
1712 Cabellaro Drive
Ammon, ID 83406

NEIGHBORHOOD MEETING SIGN-IN FORM
City of Caldwell Planning and Zoning Department
621 E. Cleveland Blvd., Caldwell, ID 83605
Phone: (208) 455-3021

Start Time of Neighborhood Meeting: 2:00 pm

End Time of Neighborhood Meeting: 2:20 pm

Those in attendance please print your name and address.

If no one attended, Applicant please write across this form "No one attended".

PRINTED NAME

ADDRESS, CITY, STATE, ZIP

1. _____
2. _____
3. _____
4. _____
5. _____
6. _____
7. _____
8. _____
9. _____
10. _____
11. _____
12. _____
13. _____
14. _____
15. _____
16. _____

No one attended

Neighborhood Meeting Certification:

Applicants shall conduct a neighborhood meeting for the following special use permit applications variance applications annexation applications planned unit development application the library 5 applications that will be submitted in conjunction with an annexation rezone or planned unit development application and rezone application as per City of Caldwell coding ordinance section 10-03-12.

Project Description:

Parcel number 35852000 0. The parcel is approximately 15.69 acres and is currently zoned M-1 Light Industrial. It is owned by Montana Timber Productions, which has one existing industrial building on the lot at 2618 S KCID RD. The building has access from KCID RD. There are also 3 existing residential houses on the property along Linden St.

Montana Timber Productions is seeking to subdivide the property into 6 lots, which will remain zoned M-1 Light Industrial. Lot 1 will contain a city owned and operated irrigation pump house and have access from Linden St. Lots 2, 3, 4, and 6 will be for future industrial use. Lot 5 will contain the existing Montana Timber Productions building. A private road is planned to provide access to lots 2, 3, and 4 from KCID RD, and lot 6 will have access from KCID road. The existing residential houses are planned to be removed as part of the subdivision process.

Date of Round Table Meeting: _____ 04/18/2024 _____

Notice Sent to Neighbors on: _____ 07/11/2024 _____

Date & Time of the Neighborhood Meeting: _____ 07/29/2024 _____ 2:00 pm _____

Location of the Neighborhood Meeting: _____

Developer/Applicant

Name: _____ Daniel B Sharp P.E. _____

Address, City, State, Zip: _____ 1712 Cabellaro Drive, Ammon, ID, 83406 _____

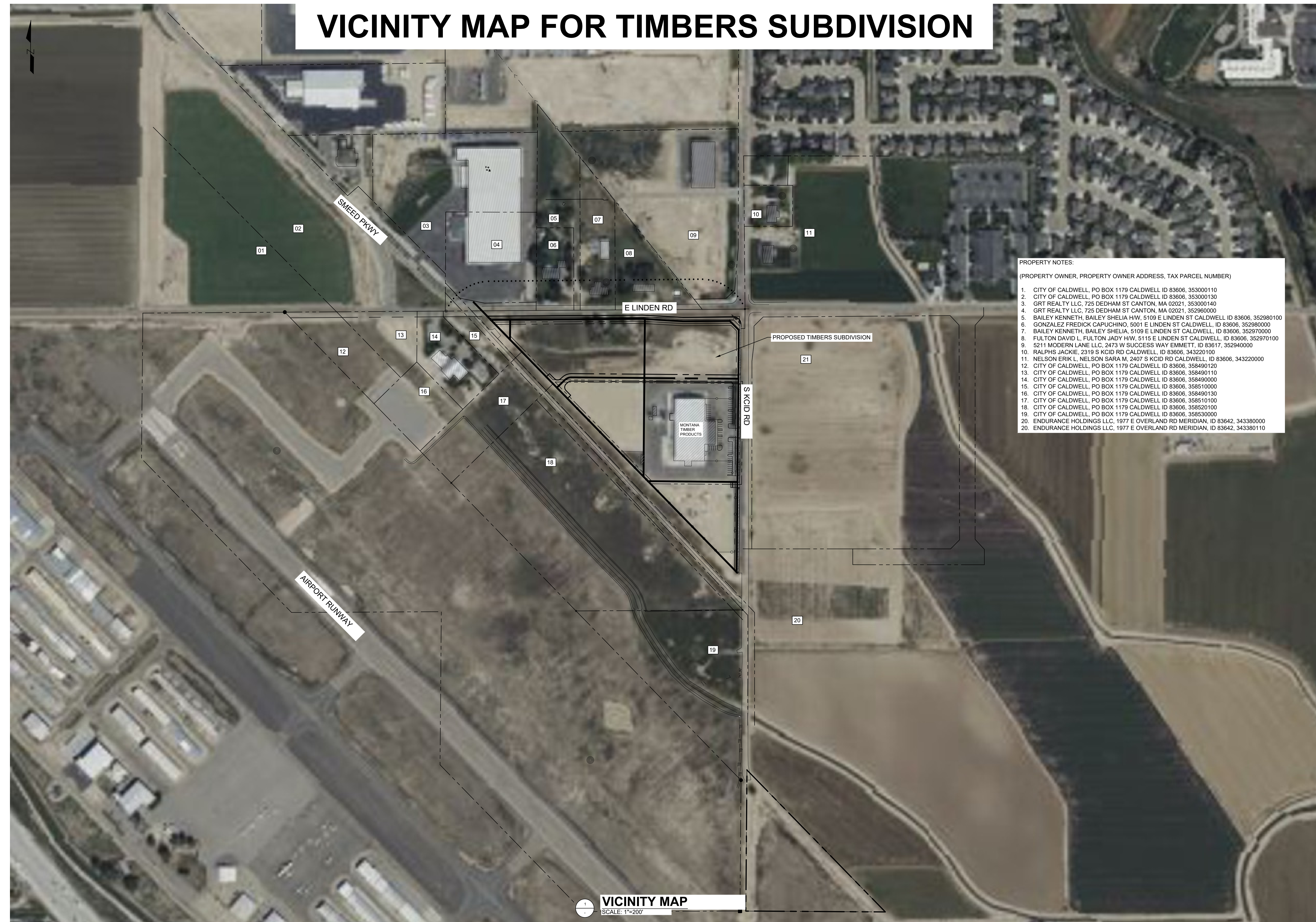
I certify that a neighborhood meeting was conducted at the time and location noted on this form and in accordance with City of Caldwell Zoning Ordinance 10-03-12.

Developer/Applicant Signature _____ *Daniel B. Sharp* _____

Date: _____ 11/12/2024 _____



VICINITY MAP FOR TIMBERS SUBDIVISION

File Info: C:\Users\Andrew.Cherry\Desktop\2024\1111_Timbers Subdivision_DWG.dwg
 Scaled: 11/11/2024 9:56 PM
 Plot Date: 11/11/2024 10:07 PM



- PROPERTY NOTES:**
(PROPERTY OWNER, PROPERTY OWNER ADDRESS, TAX PARCEL NUMBER)
- CITY OF CALDWELL, PO BOX 1179 CALDWELL ID 83606, 353000110
 - CITY OF CALDWELL, PO BOX 1179 CALDWELL ID 83606, 353000130
 - GRT REALTY LLC, 725 DEDHAM ST CANTON, MA 02021, 353000140
 - GRT REALTY LLC, 725 DEDHAM ST CANTON, MA 02021, 352960000
 - BAILEY KENNETH, BAILEY SHELIA H/W, 5109 E LINDEN ST CALDWELL, ID 83606, 352980100
 - GONZALEZ FREDICK CAPUCHINO, 5001 E LINDEN ST CALDWELL, ID 83606, 352970000
 - BAILEY KENNETH, BAILEY SHELIA, 5109 E LINDEN ST CALDWELL, ID 83606, 352970000
 - FULTON DAVID L, FULTON JADY H/W, 5115 E LINDEN ST CALDWELL, ID 83606, 352970100
 - 5211 MODERN LANE LLC, 2473 W SUCCESS WAY EMMETT, ID 83617, 352940000
 - RALPHS JACKIE, 2319 S KCID RD CALDWELL, ID 83606, 343220100
 - NELSON ERIK L, NELSON SARA M, 2407 S KCID RD CALDWELL, ID 83606, 343220000
 - CITY OF CALDWELL, PO BOX 1179 CALDWELL ID 83606, 358490120
 - CITY OF CALDWELL, PO BOX 1179 CALDWELL ID 83606, 358490110
 - CITY OF CALDWELL, PO BOX 1179 CALDWELL ID 83606, 358490000
 - CITY OF CALDWELL, PO BOX 1179 CALDWELL ID 83606, 358510000
 - CITY OF CALDWELL, PO BOX 1179 CALDWELL ID 83606, 358490130
 - CITY OF CALDWELL, PO BOX 1179 CALDWELL ID 83606, 358510100
 - CITY OF CALDWELL, PO BOX 1179 CALDWELL ID 83606, 358520100
 - CITY OF CALDWELL, PO BOX 1179 CALDWELL ID 83606, 358530000
 - ENDURANCE HOLDINGS LLC, 1977 E OVERLAND RD MERIDIAN, ID 83642, 343380000
 - ENDURANCE HOLDINGS LLC, 1977 E OVERLAND RD MERIDIAN, ID 83642, 343380110

VICINITY MAP
SCALE: 1"=200'

CLIENT	
MONTANA TIMBER PRODUCTS	
3605 BRAHMS WAY, MISSOULA, MONTANA 59802	
	
NOESIS ENGINEERING 1712 CABELLARO DR. AMMON, IDAHO 83406 (208) 932-2720 (PHONE)	
RDC	11/11/2024
DRAWN BY	DATE
ATC	11/11/2024
REVIEWED BY	DATE
DBS	11/11/2024
TECHNICAL APPROVAL	DATE
ALWAYS THINK SAFETY	
MONTANA TIMBER PRODUCTS 2618 S KCID RD, CALDWELL, IDAHO 83605 21074	
THIS DOCUMENT WAS ELECTRONICALLY SIGNED. THE DIGITAL CERTIFICATE IS IDENTIFIED ON THE 1ST PAGE OF THE ORIGINAL FILE. THE ORIGINAL DOCUMENT IS LOCATED AT NOESIS ENGINEERING SERVICES, PC HOME OFFICE SERVER UNDER THE JOB NUMBER FOLDER/7.0 ORIGINAL DOCUMENTS.	
	
VICINITY MAP	
C-201	
SHEET 1 OF 1	

PRELIMINARY PLAT FOR TIMBERS SUBDIVISION

CANYON COUNTY IDAHO
 NW 1/4 OF THE NE 1/4 OF SECTION 36 TOWNSHIP 4 NORTH RANGE 3 WEST, BOISE MERIDIAN



VICINITY MAP
 SCALE: 1"=500'

- NOTES:
- NO FLOODWAY OR FLOODPLAIN WITHIN THE BOUNDARIES OF THE SUBDIVISION
- NOTES:
- MTP PARCEL NUMBER R35852
 - CANYON COUNTY IDAHO
 - NW 1/4 OR THE NE 1/4 OF SECTION 36 TOWNSHIP 4 NORTH RANGE 3 WEST, BOISE MERIDIAN
- NOTES:
- EXISTING ZONING CLASSIFICATION: M-1 LIGHT INDUSTRIAL
 - TOTAL ACREAGE OF SUBDIVISION: 15.69 ACRES
 - TOTAL BUILDABLE LOTS: 5
 - TOTAL COMMON LOTS: 1
 - TOTAL GROSS ACREAGE: 15.69 ACRES
 - AVERAGE BUILDABLE LOT SIZE: 3.138 ACRES
 - MIN BUILDABLE LOT SIZE: 1.81 ACRES
 - DWELLING UNITS PER GROSS ACRE: N/A (INDUSTRIAL ZONE)
 - LINDEN ST AND KCIDD RD PAVED WITH ASPHALT
- NOTES:
- PROPERTY OWNER/ SUBDIVIDER, PLANNER
 - DANIEL B. SHARP
 - NOESIS ENGINEERING SERVICES, PC
 - 1712 CABELLARO DR AMMON, ID 83406
 - 208-932-2720
 - ENGINEER
 - LAWRENCE H. KOERNER, PLS
 - IDAHO SURVEY GROUP LLC
 - 9855 W EMERALD ST BOISE, ID
 - 208-830-4168

CURVE	RADIUS	LENGTH	CHORD LENGTH	CHORD BEARING	DELTA
C1	56.50'	43.66'	42.58'	S 68° 20' 41.79" W	44.2773
C2	20.00'	31.25'	28.17'	S 89° 01' 54.24" E	89.5240
C3	20.00'	31.58'	28.40'	S 0° 58' 25.68" W	90.4556
C4	23.50'	18.16'	17.71'	S 68° 20' 41.79" W	44.2773

LINE	LENGTH	BEARING
L1	413.15'	N 89° 30' 59" W
L2	321.04'	S 89° 30' 59" E
L3	9.52'	S 46° 12' 23" W
L4	30.33'	N 44° 16' 11" W
L5	20.00'	S 45° 43' 49" W
L6	133.00'	S 44° 16' 28" E
L7	20.00'	S 45° 43' 49" W
L8	29.67'	S 44° 16' 11" E
L9	8.93'	S 46° 12' 23" W
L10	321.04'	N 89° 30' 59" W
L11	413.15'	N 89° 30' 59" W

- LEGEND**
- BUILDING
 - ASPHALT
 - CONCRETE
 - CURB & GUTTER - CATCH
 - ELECTRICAL BOX
 - FENCE - WOOD
 - GAS LINE
 - GAS METER
 - MANHOLE
 - OHP OVERHEAD ELECTRIC
 - POWER POLE
 - PROPERTY LINE
 - PROPERTY MARKER
 - STORM WATER
 - IN CURB STORM WATER CATCH BASIN
 - SEWER
 - SEWER CONNECTION
 - UNDERGROUND ELECTRIC
 - WATER VALVE
 - WATER LINE
 - WATER METER
 - FIRE HYDRANT
 - CONTOUR LINE
 - PHONE LINE
 - LANDSCAPING
 - PIR PRESSURIZED IRRIGATION
 - GIR GRAVITY IRRIGATION
 - UNDERGROUND STORMWATER FACILITY
 - TELECOMMUNICATION BOX
 - PROPOSED LOT LINES
 - FLOW DIRECTION
 - FLOW LINE
 - CLEAN OUT
 - FENCE - CHAIN LINK
 - PRESSURIZED IRRIGATION VALVE ACCESS
 - EASEMENT LINES
 - LIGHT POLE
 - LANDSCAPING
 - ASPHALT SAW CUT
 - CENTERLINE OF ROAD
 - WATER WELL

ACKNOWLEDGEMENT:
 I, DANIEL B. SHARP, PE, ACKNOWLEDGE THAT TO THE BEST OF MY KNOWLEDGE, THE PRELIMINARY PLAT MEETS ALL REQUIREMENTS OF CITY CODE; OR IF SAID PLAT DOES NOT MEET ALL REQUIREMENTS THEN THE PLAT HAS BEEN SUBMITTED AS A PLANNED UNIT DEVELOPMENT AND ANY AND ALL REQUESTED EXCEPTIONS HAVE BEEN LISTED IN DETAIL AS PART OF THE PLANNED UNIT DEVELOPMENT APPLICATION OR IT IS NOT A PLANNED UNIT DEVELOPMENT, BUT ANY EXCEPTIONS AS ALLOWED IN THIS CHAPTER HAVE BEEN NOTED ON THE PRELIMINARY PLAT AND SPECIFICALLY REQUESTED AS PART OF THE APPLICATION.

PRELIMINARY PLAT
 SCALE: 1"=100'

CLIENT
 MONTANA TIMBER PRODUCTS
 3605 BRAHMS WAY, MISSOULA, MONTANA 59802

NOESIS ENGINEERING
 1712 CABELLARO DR.
 AMMON, IDAHO 83406
 (208) 932-2720 (PHONE)

RDC 11/11/2024
 DRAWN BY DATE
 ATC 11/11/2024
 REVIEWED BY DATE
 DBS 11/11/2024
 TECHNICAL APPROVAL DATE

ALWAYS THINK SAFETY

MONTANA TIMBER PRODUCTS
 SUBDIVISION IMPROVEMENT DRAWINGS

2618 S KCIDD RD, CALDWELL, IDAHO 83605
 21074

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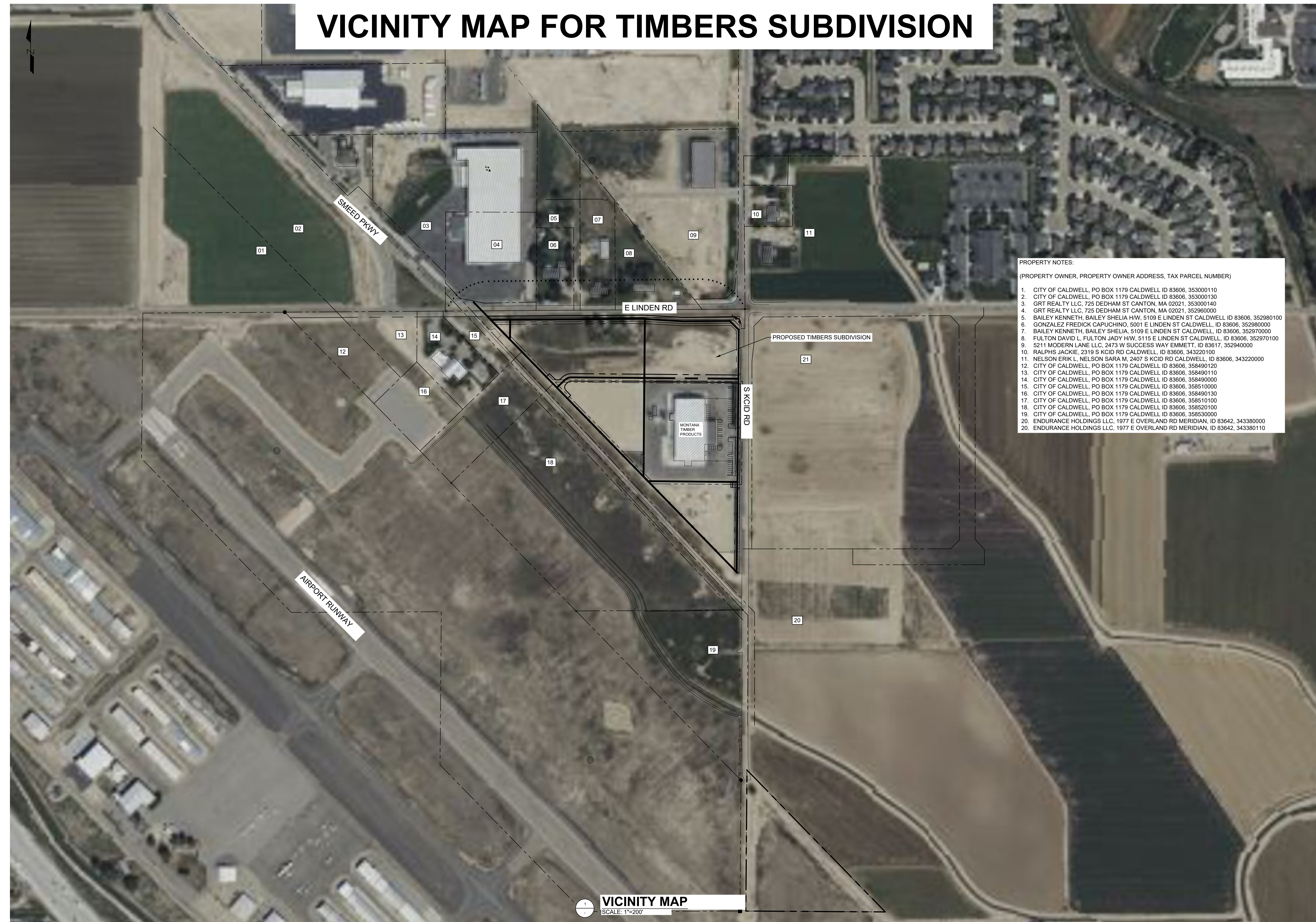
PRELIMINARY PLAT

C-1001
 SHEET 1 OF 1

File: I:\Users\Andrew.Cheney\Desktop\2024\1111_Timbers Subdivision_DWG.dwg
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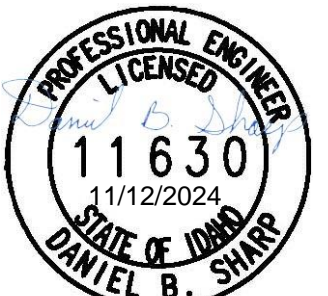
VICINITY MAP FOR TIMBERS SUBDIVISION

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 File Info: C:\Users\Andrew.Cheney\Desktop\2024\1111_Timbers Subdivision_DWG.dwg



- PROPERTY NOTES:**
(PROPERTY OWNER, PROPERTY OWNER ADDRESS, TAX PARCEL NUMBER)
- CITY OF CALDWELL, PO BOX 1179 CALDWELL ID 83606, 353000110
 - CITY OF CALDWELL, PO BOX 1179 CALDWELL ID 83606, 353000130
 - GRT REALTY LLC, 725 DEDHAM ST CANTON, MA 02021, 353000140
 - GRT REALTY LLC, 725 DEDHAM ST CANTON, MA 02021, 352960000
 - BAILEY KENNETH, BAILEY SHELIA H/W, 5109 E LINDEN ST CALDWELL ID 83606, 352980100
 - GONZALEZ FREDICK CAPUCHINO, 5001 E LINDEN ST CALDWELL, ID 83606, 352970000
 - BAILEY KENNETH, BAILEY SHELIA, 5109 E LINDEN ST CALDWELL, ID 83606, 352970000
 - FULTON DAVID L, FULTON JADY H/W, 5115 E LINDEN ST CALDWELL, ID 83606, 352970100
 - 5211 MODERN LANE LLC, 2473 W SUCCESS WAY EMMETT, ID 83617, 352940000
 - RALPHS JACKIE, 2319 S KCID RD CALDWELL, ID 83606, 343220100
 - NELSON ERIK L, NELSON SARA M, 2407 S KCID RD CALDWELL, ID 83606, 343220000
 - CITY OF CALDWELL, PO BOX 1179 CALDWELL ID 83606, 358490120
 - CITY OF CALDWELL, PO BOX 1179 CALDWELL ID 83606, 358490110
 - CITY OF CALDWELL, PO BOX 1179 CALDWELL ID 83606, 358490000
 - CITY OF CALDWELL, PO BOX 1179 CALDWELL ID 83606, 358510000
 - CITY OF CALDWELL, PO BOX 1179 CALDWELL ID 83606, 358490130
 - CITY OF CALDWELL, PO BOX 1179 CALDWELL ID 83606, 358510100
 - CITY OF CALDWELL, PO BOX 1179 CALDWELL ID 83606, 358520100
 - CITY OF CALDWELL, PO BOX 1179 CALDWELL ID 83606, 358530000
 - ENDURANCE HOLDINGS LLC, 1977 E OVERLAND RD MERIDIAN, ID 83642, 343380000
 - ENDURANCE HOLDINGS LLC, 1977 E OVERLAND RD MERIDIAN, ID 83642, 343380110

VICINITY MAP
SCALE: 1"=200'

CLIENT	
MONTANA TIMBER PRODUCTS	
3605 BRAHMS WAY, MISSOULA, MONTANA 59802	
	
NOESIS ENGINEERING 1712 CABELLARO DR. AMMON, IDAHO 83406 (208) 932-2720 (PHONE)	
RDC	11/11/2024
DRAWN BY	DATE
ATC	11/11/2024
REVIEWED BY	DATE
DBS	11/11/2024
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MONTANA TIMBER PRODUCTS 2618 S KCID RD, CALDWELL, IDAHO 83605 21074	
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Daniel B. Sharp <small>Digitally signed by Daniel B. Sharp DN: cn=Daniel B. Sharp, email=dsharp@noesis.us, o=Noesis Engineering Services, ou=PC Home Office Server, c=US Reason: I am the author of this document Date: 2024.11.12 17:28:37-0700</small>	
VICINITY MAP	
C-201	
SHEET 1 OF 1	

MONTANA TIMBER PRODUCTS SUBDIVISION IMPROVEMENT DRAWINGS

2618 S KCID RD, CALDWELL, IDAHO 83605

Nov-24

GENERAL

- THE FOLLOWING STANDARD NOTES ARE THE CITY OF CALDWELL STANDARD NOTES AND SHALL BE INCORPORATED INTO THIS CONSTRUCTION DRAWING SET:
 - A PROOF TEST OF STORM WATER BASINS WILL BE REQUIRED PER CITY OF CALDWELL MUNICIPAL STORMWATER INFRASTRUCTURE DESIGN MANUAL - 2024 SECTION 4.6.4. CITY ENGINEERING DEPARTMENT SHALL BE NOTIFIED A MINIMUM OF 48 HRS PRIOR TO TESTING.
 - ALL PEDESTRIAN ACCESS ROUTES AND FACILITIES MUST FULLY COMPLY WITH ALL LOCAL, STATE, AND FEDERAL GUIDELINES/REQUIREMENTS
 - METER BOX LID (COVER) SHALL BE D&L 2242 WITH NEPTUNE R900 RECESS OPENING (ONE (1) 1-1/2" OPENING). THIS COVER WITH 1 OPENING IS FOR SINGLE WATER SERVICES 2-HL RECESSED COVER SHALL BE USED FOR DOUBLE SERVICES.
 - THE ENGINEER OF RECORD (DESIGN CIVIL ENGINEER) SHALL BE RESPONSIBLE FOR PROVIDING THE FOLLOWING: ENGINEERS CERTIFICATION (STAMPED & SIGNED)
 - CITY OF CALDWELL WILL NOT ACCEPT ASBUILT LINES CONSTRUCTED LESS THAN THE "10 STATE STANDARDS" DESIGN MINIMUM SLOPES
 - ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE 2015 EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS (ISPW/C), PROPOSED ACCESSIBILITY GUIDELINES FOR PEDESTRIAN FACILITIES IN THE PUBLIC RIGHT-OF-WAY, AND THE CITY OF CALDWELL SUPPLEMENTAL SPECIFICATIONS. WHERE DISCREPANCIES EXIST BETWEEN THESE SPECIFICATIONS THE MORE STRINGENT OF THE THREE SHALL BE USED.
 - ALL PRESSURE IRRIGATION CONSTRUCTION SHALL COMPLY WITH THE CALDWELL MUNICIPAL IRRIGATION DISTRICT (CMID-2023) SUPPLEMENTAL SPECIFICATIONS TO THE 2015 IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPW/C), SIXTH EDITION, JUNE 2023
 - JOINT TRENCH CONDUIT WITH PULL CORD, 32" BURIAL DEPTH (PER SL-1136)
 - NO ASPHALT SHALL BE PLACED WITHOUT ENGINEER AND DEVELOPER FIRST RECEIVING AND APPROVAL TO PAVE LETTER FROM THE CITY OF CALDWELL.
 - CONTRACTOR SHALL BLOW OFF EACH DOMESTIC WATER SERVICE WITH CITY INSPECTOR PRESENT PRIOR TO ACCEPTANCE OF THE WATER SYSTEM
 - CONTRACTOR SHALL BLOW OFF EACH PRESSURE IRRIGATION SERVICE WITH CITY INSPECTOR PRESENT PRIOR TO ACCEPTANCE OF THE IRRIGATION SYSTEM.
 - ALL EXISTING SEWER SERVICES BEING USED FOR THE CURRENT PHASE MUST BE EXPOSED AND SHOWN TO THE CITY INSPECTOR
 - VALVE CANS, WATER METERS & MANHOLE LIDS SHALL REMAIN OUTSIDE OF ALL CURBS, GUTTERS, VALLEY GUTTERS & SIDEWALKS
 - PRESSURE IRRIGATION MAINLINES SHALL HAVE 36" MINIMUM AND 48" MAXIMUM COVER UNDER ROADWAYS PER CMID SECTION 1103.01
 - PRESSURE IRRIGATION TRACER WIRE SHALL BE INSTALLED PER SECTION 1103.02
 - PRESSURE IRRIGATION FINDER TAPE SHALL BE INSTALLED PER SECTION 1103.03
 - EACH PRESSURE IRRIGATION SERVICE SHALL HAVE A "NON-POTABLE WATER" (AKA, "YUCK" TAG) PER SECTION 1103.08 (IF APPLICABLE)
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 EDITION OF IDAHO STANDARDS FOR THE PUBLIC WORKS CONSTRUCTION (I.S.P.W.C.), THE AMERICANS WITH DISABILITIES ACT, THE CITY OF CALDWELL SUPPLEMENTAL SPECIFICATIONS AND STANDARDS (TO BE DISCUSSED AT PRE-CONSTRUCTION MEETING) AND THE HIGHWAY STANDARDS AND DEVELOPMENT PROCEDURES FOR THE CITY OF CALDWELL. CONTRACTOR(S) SHALL HAVE A CURRENT PUBLIC WORKS LICENSE. WHERE A DISCREPANCY EXISTS BETWEEN THE I.S.P.W.C. AND THE CITY OF CALDWELL SUPPLEMENTAL SPECIFICATIONS AND STANDARDS, THE MOST STRINGENT OF THE TWO GUIDELINES SHALL BE USED FOR CONSTRUCTION BY THE CONTRACTOR.
- CONTRACTOR(S) SHALL RETAIN AND PROTECT ALL EXISTING FEATURES BOTH ABOVE AND BELOW GROUND, UNLESS OTHERWISE NOTED ON THE PLANS OR AS DIRECTED BY THE ENGINEER
- A PRE-CONSTRUCTION CONFERENCE WILL BE HELD A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO THE START OF WORK. ALL CONTRACTORS, SUBCONTRACTORS AND/OR UTILITY CONTRACTORS SHOULD BE PRESENT. ALL LOT DIMENSIONS, EASEMENTS AND CERTAIN OFF-SITE EASEMENTS ARE TO BE TAKEN FROM THE PLAT
- ALL CONSTRUCTION STAKES MUST BE REQUESTED A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO PLANNED USE.
- THE CONTRACTOR(S) SHALL CLEAR AND GRUB PROPOSED STREETS WHICH SHALL CONSIST OF CLEARING THE GROUND SURFACE OF ALL MATERIAL NOT SUITABLE FOR THE FUTURE USE ON SITE. SAID MATERIAL SHALL BE DISPOSED OF OFFSITE AT THE CONTRACTORS EXPENSE.
- SURVEYOR SHALL BE RETAINED AND SET CONTROL POINTS AND VERIFY EXISTING ELEVATION, PROPERTY LINES AND CENTERLINE OF ROADS, WHICH ARE CRITICAL TO THE CONSTRUCTION STAKING OF THE PROJECT. THESE POINTS WILL BE DESIGNATED AT THE TIME THEY ARE SET AND THE CONTRACTOR SO NOTIFIED. DESTRUCTION OF THESE POINTS BY THE CONTRACTOR OR HIS SUBCONTRACTORS SHALL BE GROUNDS FOR CHARGING THE CONTRACTOR THE COST OF RE-ESTABLISHING SAID POINTS.
- THE CONTRACTOR(S) SHALL MAINTAIN ALL EXISTING DRAINAGE FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL THE DRAINAGE IMPROVEMENTS ARE IN PLACE AND FUNCTIONING.
- ALL CONTRACTORS WORKING WITHIN THE PROJECT BOUNDARIES ARE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE SAFETY LAWS OF ANY JURISDICTIONAL BODY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES SAFETY DEVICES AND CONTROL OF TRAFFIC WITHIN AND AROUND THE CONSTRUCTION AREA.
- EXISTING ASPHALT CONCRETE PAVEMENT SHALL BE CUT TO A NEAT, STRAIGHT LINE PARALLEL OR PERPENDICULAR TO THE STREET CENTERLINE AND THE EXPOSED EDGE SHALL BE TACKED WITH EMULSION PRIOR TO PAVING, AND SHALL COMPLY WITH THE I.S.P.W.C. (2015) AND THE CITY OF CALDWELL SUPPLEMENTAL SPECIFICATIONS SECTION 307 C.
- ALL MATERIALS FURNISHED ON OR FOR THE PROJECT MUST MEET THE MINIMUM REQUIREMENTS OF THE APPROVING AGENCIES OR AS SET FORTH HEREIN, WHICHEVER IS MORE RESTRICTIVE.
- CONTRACTORS MUST FURNISH PROOF THAT ALL MATERIALS INSTALLED ON THIS PROJECT MEET THE ABOVE REQUIREMENTS AT THE REQUEST OF THE AGENCY AND/OR ENGINEER.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH OCCUR BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTACT DIG-LINE AT 1-800-342-1585.
- ALL COSTS OF RETESTING FOR PREVIOUSLY FAILED TESTS SHALL BE CHARGED TO THE CONTRACTOR BY THE OWNER.
- ALL COSTS TO THE CONTRACTOR INCURRED IN CORRECTING DEFICIENT WORK SHALL BE TO THE CONTRACTORS ACCOUNT. FAILURE TO CORRECT SUCH WORK WILL BE CAUSE FOR A STOP WORK ORDER AND POSSIBLE TERMINATION.
- WORK SUBJECT TO APPROVAL BY ANY POLITICAL SUBDIVISION AND/OR AGENCY MUST BE APPROVED PRIOR TO (A) PLACING OF CONCRETE, (B) PLACING OF AGGREGATE BASE, (C) PLACING OF ASPHALT PAVING, (D) BACKFILLING TRENCHES FOR PIPE, WORK DONE WITHOUT SUCH APPROVAL SHALL NOT RELIEVE THE CONTRACTOR FROM THEIR RESPONSIBILITY OF PERFORMING THE WORK IN AN ACCEPTABLE MANNER.
- ALL CONTRACTORS WORK WITHIN THE PUBLIC ROAD RIGHT-OF-WAY ARE REQUIRED TO SECURE A RIGHT-OF-WAY CONSTRUCTION PERMIT FROM THE CITY OF CALDWELL AND/OR APPLICABLE HIGHWAY DISTRICTS AT LEAST 24 HOURS PRIOR TO ANY CONSTRUCTION.
- CONTRACTOR TO PROVIDE GRADE RINGS AS REQUIRED TO SET SAND AND GREASE TRAP RIM ELEVATIONS TO FINISH GRADE.
- NO PIT RUN, BALLAST OR SUBBASE AGGREGATE SHALL BE PLACED ON ANY ROAD OR STREET UNTIL THE SUB-BASE HAVE BEEN APPROVED BY THE CITY OF CALDWELL AND/OR APPLICABLE HIGHWAY DISTRICT.
- SEWER AND WATER LINES MAY NOT BE PLACED IN SERVICE WITHOUT MEETING ALL CONDITIONS HEREIN SPECIFIED AND WITHOUT EXPRESS APPROVAL OF THE CITY ENGINEER.
- TRENCH BACKFILL SHALL CONFORMED TO THE CITY OF CALDWELL "RIGHT-OF-WAY TRENCH BACKFILL SPECIFICATION".
- THE CITY OF CALDWELL HAS THE OPTION TO INSPECT ALL CONSTRUCTION AT ANY TIME. THE CONTRACTOR SHALL NOTIFY THE CITY OF CALDWELL 24 HOURS PRIOR TO CONSTRUCTION.
- STREET SIGNS SHALL BE INSTALLED BY DEVELOPER TO CITY OF CALDWELL SPECIFICATION UPON COMPLETION OF PAVING. CALL (208) 455-3072 FOR FURTHER DETAILS.
- EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY NECESSARY NPDES PERMITS, FILING ANY NOI AND PREPARING A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN ACCORDANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY. CONTACT THE EPA AT 208-344-9489 FOR THE REQUIRED INFORMATION. SAID PERMIT SHALL BE PRESENTED TO THE OWNER/DEVELOPER AT LEAST 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- IDAHO POWER COMPANY SHALL PROVIDE STUB INTO LANDSCAPE COMMON LOTS. LOCATION AS DIRECTED BY OWNER. IDAHO POWER COMPANY JUNCTION BOX SHALL BE INSTALLED WITHIN THREE (3) FEET FROM THE CENTER OF LIGHT POLE BASE. CONDUIT INSTALLED BY THE DEVELOPER SHALL HAVE MINIMUM BURIAL DEPTH OF 32 INCHES AND SHOULD BE MARKED WITH BURIAL TYPE. ALL STREET LIGHTS AND APPURTENANCES SHALL MEET IDAHO POWER COMPANY STANDARDS.
- THE ENGINEER OF RECORD (DESIGN CIVIL ENGINEER) SHALL BE RESPONSIBLE PROVIDING THE FOLLOWING:
 - CONSTRUCTION OBSERVATIONS (INSPECTIONS) AT SUFFICIENT INTERVALS TO ENSURE THAT ALL CONSTRUCTION HAS BEEN COMPLETED IN ACCORDANCE WITH THE PLANS, I.S.P.W.C., AND CITY OF CALDWELL STANDARDS.
 - CONSTRUCTION OBSERVATION DIARY (INSPECTION LOG)
 - REPRODUCIBLE (M/LAR) RECORD DRAWINGS
 - ENGINEER STATEMENT (ENGINEERS STATEMENT)

ROADWAY

- ALL CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE ADOPTED ADDITION OF THE I.S.P.W.C. THE CITY OF CALDWELL AND CANYON HIGHWAY DISTRICT SPECIFICATIONS. NO EXCEPTIONS TO DISTRICT POLICY, STANDARDS AND THE I.S.P.W.C. WILL BE ALLOWED UNLESS SPECIFICALLY AND PREVIOUSLY APPROVED IN WRITING BY THE CITY OR THE CANYON HIGHWAY DISTRICT.
- ALL MANHOLES, VALVE BOXES SHALL BE CONSTRUCTED FLUSH WITH THE FINISHED GRADES AND SLOPES. PIPE CONTRACTOR SHALL PROVIDE ALL MANHOLE AND VALVE BOX MATERIAL AND STREET CONTRACTOR SHALL ADJUST MANHOLES AND VALVE BOXES TO FINISH GRADE AND CONSTRUCT COLLARS AND COORDINATE COLLAR CONSTRUCTION WITH THE CITY OF CALDWELL. CONCRETE COLLARS SHALL BE REQUIRED AROUND ALL MANHOLES AND VALVE BOXES UNLESS OTHERWISE SHOWN AND APPROVED BY THE APPROPRIATE ENTITY.
- ALL UNDERGROUND IMPROVEMENTS SHALL BE COMPLETED AND TESTED PRIOR TO CONCRETE CONSTRUCTION AND/OR FINISHING ROADWAY IMPROVEMENTS.
- OVER-EXCAVATION AND PLACEMENT OF ADDITIONAL GRANULAR BACKFILL MAY BE NECESSARY IN AREAS OF HIGH GROUNDWATER OR OTHER AREAS OF UNSUITABLE SUBBASE MATERIALS.
- ALL EXCESS MATERIAL SHALL BE PLACED AS DIRECTED BY THE OWNER.
- A STAMPED "S" SHALL BE PLACED IN CONCRETE SIDEWALK AT LOCATION OF SEWER SERVICES TO EACH LOT.

- WHEN DISCREPANCIES OCCUR BETWEEN PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER. UNTIMELY NOTIFICATION SHALL NEGATE ANY CONTRACTORS CLAIM FOR ADDITIONAL COMPENSATION.
- INSPECTION OF WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE BY THE CITY OF CALDWELL, GOVERNING JURISDICTION, OR APPLICABLE HIGHWAY DISTRICT.
- ALL COST OF RETESTING FOR PREVIOUSLY FAILED TESTS SHALL BE BACK CHARGED TO THE CONTRACTOR BY THE OWNER.
- ALL COSTS TO THE CONTRACTOR INCURRED IN CORRECTING DEFICIENT WORK SHALL BE TO THE CONTRACTORS ACCOUNT. FAILURE TO CORRECT SUCH WORK WILL BE CAUSE FOR A STOP WORK ORDER AND POSSIBLE TERMINATION.
- ALL WATER VALVES WILL BE PLACED SO AS NOT TO CONFLICT WITH ANY CONCRETE CURB, GUTTER, VALLEY GUTTER AND SIDEWALK IMPROVEMENTS.
- ALL PEDESTRIAN ACCESS ROUTES AND FACILITIES MUST FULLY COMPLY WITH ALL LOCAL, STATE, AND FEDERAL GUIDELINES.

WATER

- THE WATER SYSTEM SHALL BE CONSTRUCTED TO CONFORM WITH THE STANDARDS SET FORTH IN THE AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, "IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS" (I.R.P.D.W.S.) IDAHO STANDARDS FOR PUBLIC WORK CONSTRUCTION (I.S.P.W.C. 2015) AND THE CITY OF CALDWELL 2015 SUPPLEMENTAL SPECIFICATIONS AND STANDARDS (SEE NOTE NO. 21 UNDER "GENERAL")
- WATER DISTRIBUTION MAINS SHALL BE CONSTRUCTED WITH CLASS 200 PVC (POLYVINYL-CHLORIDE) PIPE, CONFORMING TO THE AWWA C-900. THE PIPE SHALL BE INSTALLED IN A WORKMANLIKE MANNER BY PERSONS PROPERLY QUALIFIED TO PERFORM SAID WORK AND SHALL BE IN CONFORMANCE WITH THE MANUFACTURERS RECOMMENDATIONS AS APPROVED BY THE CITY ENGINEER.
- ALL WATER MAINS SHALL HAVE A MINIMUM COVER OF 48 INCHES AND A MAXIMUM OF 60 INCHES. SERVICE LINE SHALL HAVE A MINIMUM COVER OF 42 INCH FROM THE FINAL FINISHED GRADE AFTER INSTALLATION OF THE WATER MAINS AND SERVICE LINES. THE TRENCHES SHALL BE COMPACTED TO 95% OF MAXIMUM STANDARD PROCTOR DENSITY TO PREVENT FURTHER SETTLEMENT. ALL MAINS SHALL BE PRESSURE/LEAK TESTED FLUSHED AND SANITIZED PER I.S.P.W.C. AND WATER NOTE NO 4. ALL TESTING SHALL BE APPROVED BY THE CITY OF CALDWELL BEFORE CONNECTING TO THE MUNICIPAL SYSTEM.
- ALL WATER MAINS SHALL BE DISINFECTED ACCORDING TO THE AWWA C-651 SPECIFICATION LATEST EDITION:
 - THE DISTRIBUTION SYSTEM SHALL BE PRESSURE TESTED AT 1 1/2 TIMES OPERATING PRESSURE OR A MINIMUM OF 150 PSI.
 - PRIOR TO USE OF THE WATER MAIN, IT SHALL BE DISINFECTED ACCORDING TO SPECIFICATIONS OF THE AWWA AND THEN FLUSHED. THE DISINFECT ION AND FINAL FLUSHING PROCEDURE SHALL BE TESTED TO DETERMINE IF THE APPROPRIATE MINIMUM CHLORINE RESIDUALS HAVE BEEN EXCEEDED. CITY PERSONNEL SHALL BE PRESENT AT THE TIME WATER SAMPLE IS OBTAINED.
- ALL GATE VALVES SHALL BE FLANGED (FG) AND/OR MECHANICAL JOINT (MJ) AND SHALL CONFORM TO AWWA C509 SPECIFICATIONS AND SHALL HAVE A 200 PSI WORKING PRESSURE RATING. ALL VALVES SHALL BE ANCHORED IN CONFORMANCE TO THE I.S.P.W.C.
- ALL TEES, PLUGS, CAPS AND BENDS AND AT OTHER LOCATIONS WHERE UNBALANCED FORCES EXIST SHALL BE SECURED AND ANCHORED BY SUITABLE THRUST BLOCKING PER THE ISPW STANDARD DRAWING SD-403. RETAINER GLANDS MAY BE USED IN LIEU OF THRUST BLOCKS.
- NO 12 DIRECT BURIAL WIRE SHALL BE PLACED ALONG THE NORTH AND EAST SIDE OF WATER MAINS AND SERVICE LINES. WIRE SHALL BE TAPED AT THE GATE VALVE LOCATIONS SO IT IS ACCESSIBLE FROM ABOVE BUT DOES NOT INTERFERE WITH VALVE OPERATION.
- WHERE IT IS NECESSARY FOR SANITARY SEWER AND WATER TO CROSS EACH OTHER, REFER TO NOTE NO. 13 UNDER SEWER NOTES.
- CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE CITY OF CALDWELL WATER DEPARTMENT THREE (3) WORKING DAYS BEFORE INITIAL CONSTRUCTION BEGINS AND SHALL ALSO NOTIFY CITY OF CALDWELL TWENTY-FOUR (24) HOURS IN ADVANCE OF BACKFILLING. THE CITY OF CALDWELL MAY INSPECT ALL WATER MAIN LINE CONSTRUCTION.
- CONTRACTOR TO FIELD VERIFY THAT ALL VALVE BOX LID ELEVATIONS MATCH FINAL GRADE AND ALL METER LID ELEVATIONS TO MATCH AN EXTENSION OF THE SIDEWALK GRADE. METERS SHALL BE INSTALLED BEHIND THE SIDEWALK PER CITY OF CALDWELL STANDARD DRAWING W-413.
- VALVES FLANGED (FLG) OR MECHANICAL JOINT (MJ) SHALL BE LOCATED IN THE STREET AND FIRE HYDRANTS LOCATED PER CITY OF CALDWELL STANDARD DRAWING W-404.
- THE CONTRACTOR SHALL PRESSURE TEST ALL WATER LINES AFTER DISINFECTION AND FLUSHING, BUT PRIOR TO INSTALLATION OF OTHER UTILITIES. AFTER ALL UTILITIES ARE INSTALLED AND PRIOR TO PAVING THE CONTRACTOR SHALL PERFORM A FINAL PRESSURE TEST WITH THE ENGINEER IN ATTENDANCE. THE CONTRACTOR SHALL FURNISH ALL PERSONNEL AND EQUIPMENT NECESSARY TO CONDUCT THE TEST PERIOD. CONTRACTOR SHALL NOTIFY CITY OF CALDWELL 24 HOURS IN ADVANCE TO WITNESS FINAL PRESSURE TEST.
- NO VERTICAL OBSTRUCTIONS OR LANDSCAPING SHALL BE INSTALLED WITHIN SIX (6) FEET OF FIRE HYDRANT EXCEPT LAWN, ROCK OR BARK.
- FINAL ACCEPTANCE OF ALL WATER UTILITY CONSTRUCTION WILL BE BY THE CITY OF CALDWELL.
- THE CITY OF CALDWELL WATER DEPARTMENT PERSONNEL SHALL BE PRESENT WHEN OPERATING EXISTING "IN SERVICE" WATER VALVES. THIS INCLUDES FLUSHING OF MAINS AND ALL PRESSURE AND WATER QUALITY TESTS.
- WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CALDWELL SPECIFICATIONS. CONCRETE COLLARS SHALL BE PROVIDED FOR ALL WATER VALVE BOXES IN ASPHALT. COLLARS SHALL BE PLACED IN ACCORDANCE WITH I.S.P.W.C. AND CITY OF CALDWELL STANDARD DRAWING W-406.
- CITY OF CALDWELL WATER DEPARTMENT SHALL MAKE ALL HOT TAPS ON EXISTING WATER MAINS.
- ALL WATER MAIN CONSTRUCTION MUST HAVE AT LEAST THREE (3) FEET OF HORIZONTAL SEPARATION AND 12" VERTICAL SEPARATION FROM OTHER UTILITIES (GAS, TELEPHONE, POWER ETC.)
- MASTER BOX LID (COVER) SHALL BE D&L 2242 WITH NEPTUNE R 900 RECESS OPENING (ONE (1) 1-1 1/2" OPENING); THIS IS FOR SINGLE SERVICE 2-HL RECESSED COVER SHALL BE USED FOR DOUBLE SERVICE.

SEWER

- ALL SEWER WORK SHALL BE DONE IN ACCORDANCE WITH 2015 EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (I.S.P.W.C.) AND THE CITY OF CALDWELL 2015 SUPPLEMENTAL SPECIFICATIONS AND STANDARDS. (SEE NOTE NO. 21 UNDER "GENERAL").
- FINAL APPROVAL AND ACCEPTANCE OF ALL SEWER CONSTRUCTION SHALL BE ISSUED BY THE CITY OF CALDWELL.
- ALL MANHOLES SHALL BE IN ACCORDANCE WITH CITY OF CALDWELL 2015 SPECIFICATIONS.
- SEWER INSPECTIONS WILL BE PERFORMED BY THE CITY OF CALDWELL. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING THE WORK IN AN ACCEPTABLE MANNER. CONTACT CITY OF CALDWELL 48 HOURS PRIOR TO COMMENCEMENT OF SEWER INSTALLATION.
- STUB OUTS FOR SERVICE LINES SHALL BE MARKED IN ACCORDANCE WITH THE CITY OF CALDWELL STANDARDS DRAWING SS-501. THE SEWER SERVICE MARKER SHALL BE IN PLACE FOR THE FINAL INSPECTION. SERVICE LINES SHALL EXTEND TEN (10) FEET (MIN) BEYOND THE RIGHT-OF-WAY.
- PRIOR TO FINAL ACCEPTANCE AFTER ALL UTILITIES ARE IN AND PRIOR TO PAVING THE CONTRACTOR SHALL CONDUCT AN AIR TEST OF THE SEWER MAINS PER THE I.S.P.W.C. AND CITY OF CALDWELL 2015 SUPPLEMENTAL SPECIFICATIONS IN SECTION 500. THE CONTRACTOR SHALL CONTACT THE CITY OF CALDWELL A MINIMUM OF 24 HOURS PRIOR TO TESTING PERIOD THE CONTRACTOR SHALL FURNISH ALL EQUIPMENT AND PERSONNEL TO PERFORM THE TEST.
- ALL SEWER MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE I.S.P.W.C. AND CITY OF CALDWELL STANDARDS DRAWING SS-501. THE TOP OF CONE SHALL BE LOCATED WITHIN ONE (1) FOOT OF THE FINISHED GRADE. THE SEWER CONTRACTOR SHALL SUPPLY ALL LID ASSEMBLIES AND THE REQUIRED NUMBER OF RISERS AND GRADE RINGS. THE SEWER CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE TOP OF THE MANHOLE CONE TO ASSURE THAT ALL RING ELEVATIONS MATCHED FINAL STREET GRADES. MANHOLES SHALL HAVE 12 INCH MAXIMUM OF GRADE RINGS.
- WHERE CONCRETE COLLARS ARE USED THE PAVING CONTRACTOR SHALL SET THE GRADE RINGS AND POUR THE CONCRETE COLLARS PER CITY OF CALDWELL STANDARD DRAWINGS SS-501. THE PAVING CONTRACTOR SHALL CONTACT THE CITY OF CALDWELL AND ENGINEER OF RECORD 24 HOURS PRIOR TO POURING CONCRETE COLLARS. CONCRETE COLLARS ARE REQUIRED IN ALL PAVED AREAS.
- THE HORIZONTAL SEPARATION OF THE WATER AND SEWER MAINS SHALL BE A MINIMUM OF TEN (10) FEET.
- GROUNDWATER LEVELS SHALL BE MAINTAINED BELOW THE BOTTOM OF THE TRENCH DURING THE PIPE LAYING AND PIPE JOINING OPERATIONS AND WHILE MAKING SEWER TAPS. THE DEWATERING METHOD SHALL BE DISCUSSED WITH THE ENGINEER AND APPROVED PRIOR TO CONSTRUCTION. DITCHES AND STORM DRAIN FACILITIES THAT ARE SITED DUE TO THE CONTRACTORS DEWATERING, SHALL BE CLEANED AND RESTORED TO THEIR ORIGINAL STATE.
- THE TRENCH ABOVE THE PIPE ZONE WILL BE INSPECTED BY THE CITY OF CALDWELL IN ACCORDANCE WITH THE I.S.P.W.C. AND CITY OF CALDWELL 2015 SPECIFICATIONS.
- SEWER SERVICE LINES SHALL BE INSTALLED PRIOR TO STREET IMPROVEMENTS PER CITY OF CALDWELL STANDARD DRAWINGS SS-511A.
- WHERE IT IS NECESSARY FOR SANITARY SEWER AND POTABLE WATER TO CROSS EACH OTHER AND THE SEWER LINE IS LESS THAN 18" BELOW OR ABOVE THE WATER MAIN THE SEWER LINE CROSSING SHALL BE WATER CLASS PIPE, EACH WITH WATERTIGHT JOINTS OR EQUAL CONSTRUCTION, FOR A DISTANCE OF TEN (10) FEET ON BOTH SIDES OF THE POTABLE WATER LINE. ONE FULL LENGTH OF BOTH WATER MAIN AND SEWER LINE SHALL BE CENTERED OVER THE CROSSING POINT SO THAT ALL JOINTS WILL BE AS FAR FROM THE CROSSING AS POSSIBLE.
- TRENCH EXCAVATION AND TRENCH BACKFILL SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 300 TRENCHING OF THE I.S.P.W.C. AND CITY OF CALDWELL 2015 SPECIFICATIONS.
- AN ECCENTRIC CONE SHALL BE USED ON SANITARY SEWER MANHOLES GREATER THAN FOUR (4) FEET DEEP WITH THE VERTICAL WALL PLACED ON THE UPSTREAM SIDE AND ROTATED 45 DEGREES. MANHOLES LESS THAN FOUR (4) FEET DEEP SHALL HAVE CONCENTRIC CONES.
- ALL SEWER MANHOLE COVERS SHALL MARKED "SEWER" AND ALL STORM DRAIN MANHOLE COVERS SHALL BE MARKED "STORM DRAIN".
-

CIVIL ABBREVIATIONS

AND APPROXIMATE AT BENCH MARK CLEAR COMMUNICATION CONCRETE CONTROL POINT DEGREE DEMOLITION DIAMETER DUCTILE IRON EAST/EASTING DEMOLITION EAST/EASTING ELEVATION EXCAVATION EXISTING FEET/FOOT FLOW LINE INVERT ELEVATION IRRIGATION LINEAR FEET MANHOLE MAXIMUM	& APPROX @ BM CLR. COM CONC. CP- DEG OR ° DEMO DIA OR Ø D.I. E DEMO E EL OR ELEV EXC EXIST FT FL I.E OR IN IRR L.F. MH MAX.	MINIMUM NOT TO SCALE NORTH/NORTHING OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION ON CENTER POLYVINYL CHLORIDE PROPERTY LINE RIGHT SIDEWALK SOUTH SQUARE FEET STAINLESS STEEL STANDARD STANDARD SPECIFICATION STATION TOP BACK OF CURB TYPICAL WEST WITH MUNICIPAL CORPORATE LINE	MIN. NTS N NO. OR # O.S.H.A O.C. PVC FL RT S/W S S.F. SY S.S.A STD SPEC STA TBC TYP W W/ MCL
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CLIENT

MONTANA TIMBER PRODUCTS
3605 BRAHMS WAY, MISSOULA, MONTANA 59802



NOESIS ENGINEERING
1712 CABELLARO DR.
AMMON, IDAHO 83406
(208) 932-2720 (PHONE)

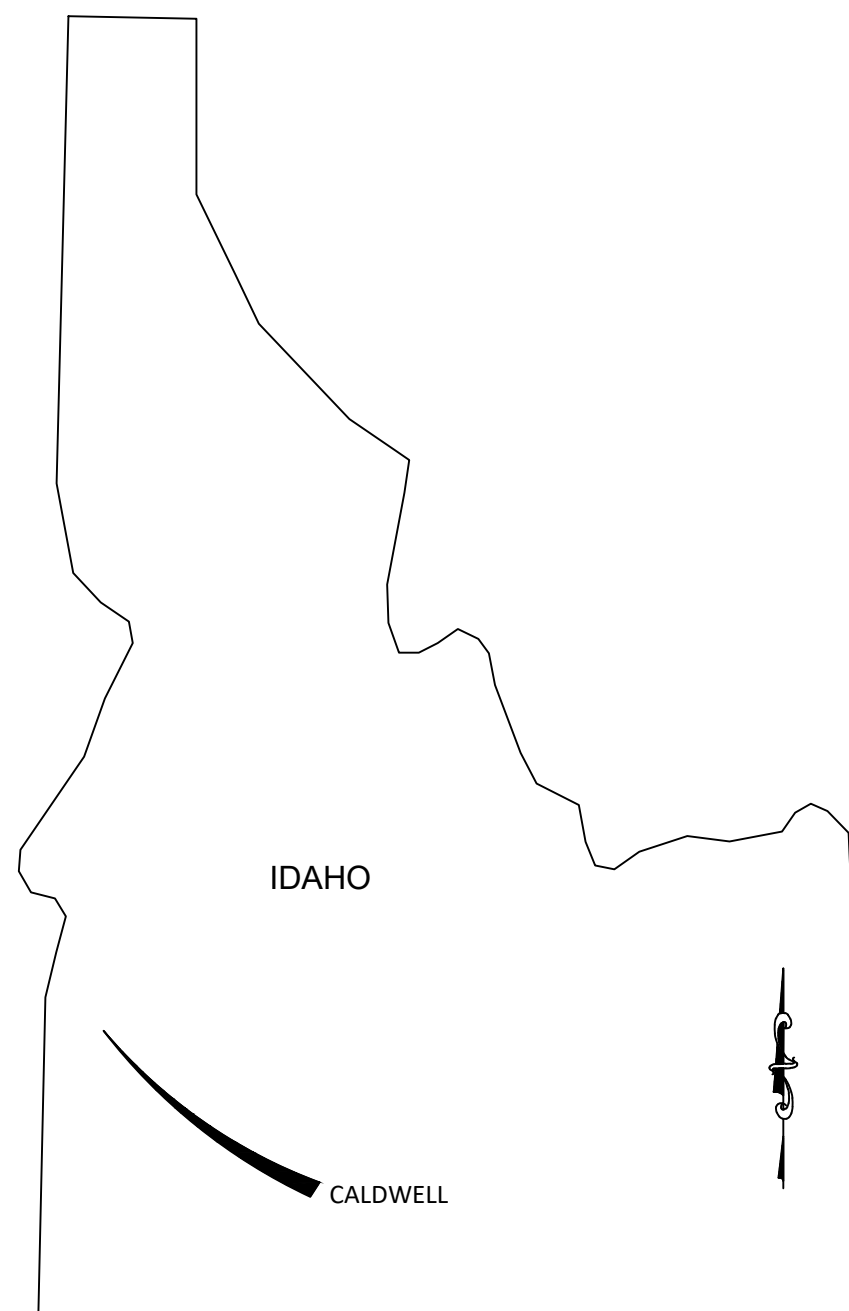
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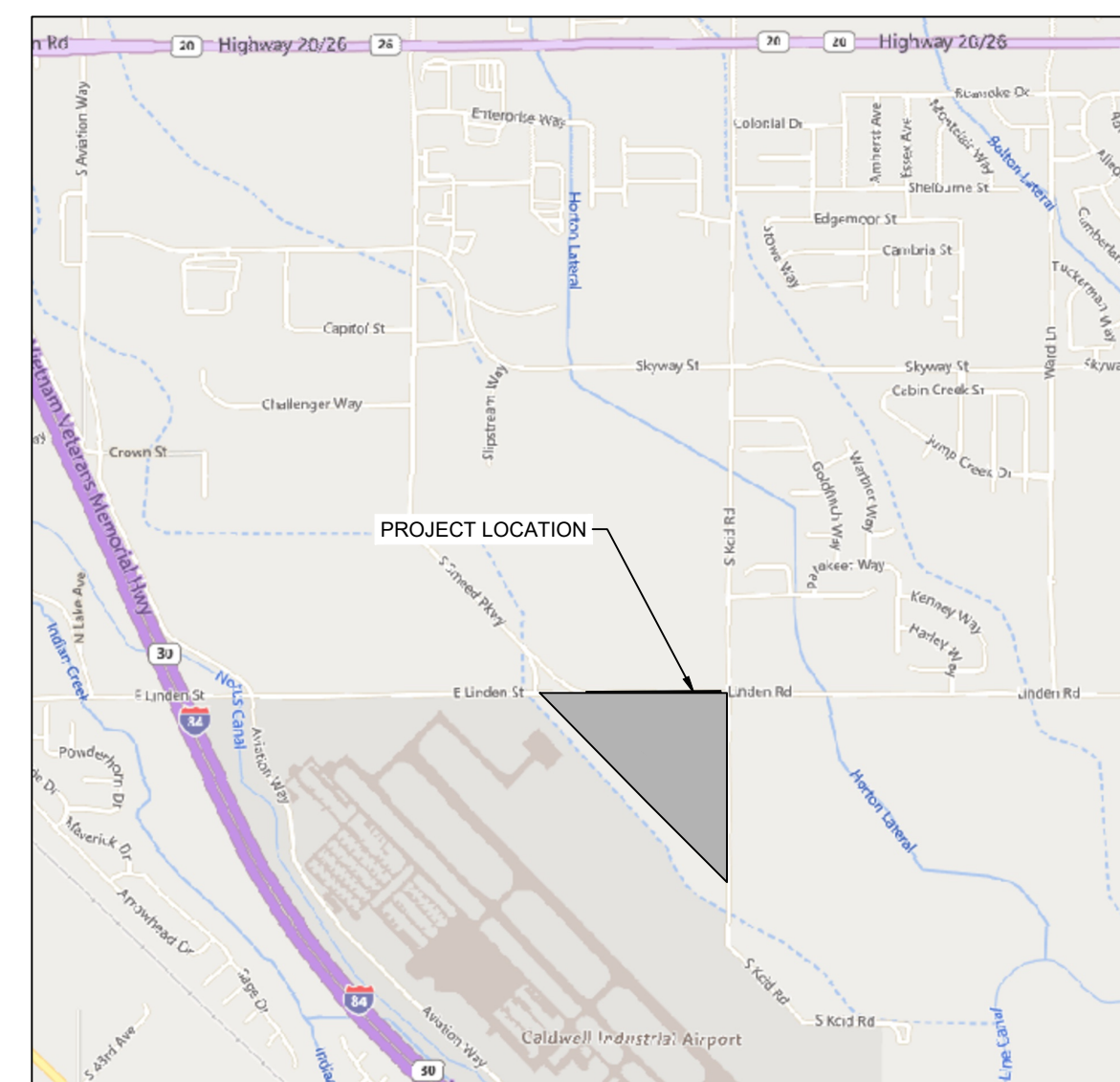


DRAINAGE NOTE
BEFORE COMMENCEMENT OF ANY WORK ON THIS SITE. EXCAVATION TO BOTTOM OF SEEPAGE BEDS SHALL OCCUR. CONTACT ATLAS TO VERIFY RECEIVING SOILS AND CONDUCT A PERCOLATION TEST. REPORT PERCOLATION TEST BACK TO NOESIS ENGINEERING.

- IRRIGATION NOTE**
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH CMID-2023 STANDARDS
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH PIONEER IRRIGATION DISTRICT STANDARDS PER THEIR POLICY MANUAL. CONTACT KIRK MEYERS 208-459-3617
 - PRESSURE IRRIGATION SYSTEM DESIGNED FOR 13.81 IRRIGABLE ACRES

DEVELOPER
JOHN GIULIANI
3605 ARTHUR STREET
CALDWELL, ID 83605
(406) 546-5579
JGIULIANI@MONTANATIMBERPRODUCTS.COM

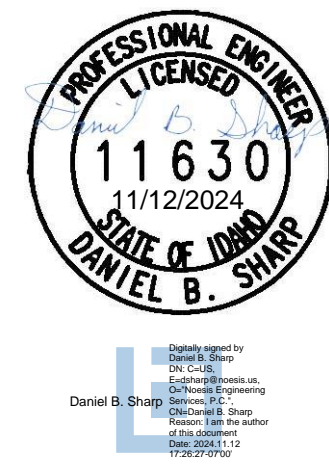
VICINITY MAP



SHEET INDEX

C-001	COVER SHEET
C-101	EXISTING CONDITIONS
C-102	PRELIMINARY PLAT
C-103	PROPOSED SITE PLAN
C-104	UTILITY PLAN
C-105	GRADING PLAN
C-401	TIMBERS LANE PLAN AND PROFILE
C-402	TIMBERS LANE PLAN AND PROFILE
C-403	LINDEN PLAN AND PROFILE
C-404	LINDEN PLAN AND PROFILE
C-405	LINDEN PLAN AND PROFILE
C-406	STORMWATER FACILITY 1 PLAN AND PROFILE
C-407	STORMWATER FACILITY 2 PLAN AND PROFILE
C-501	CIVIL DETAILS

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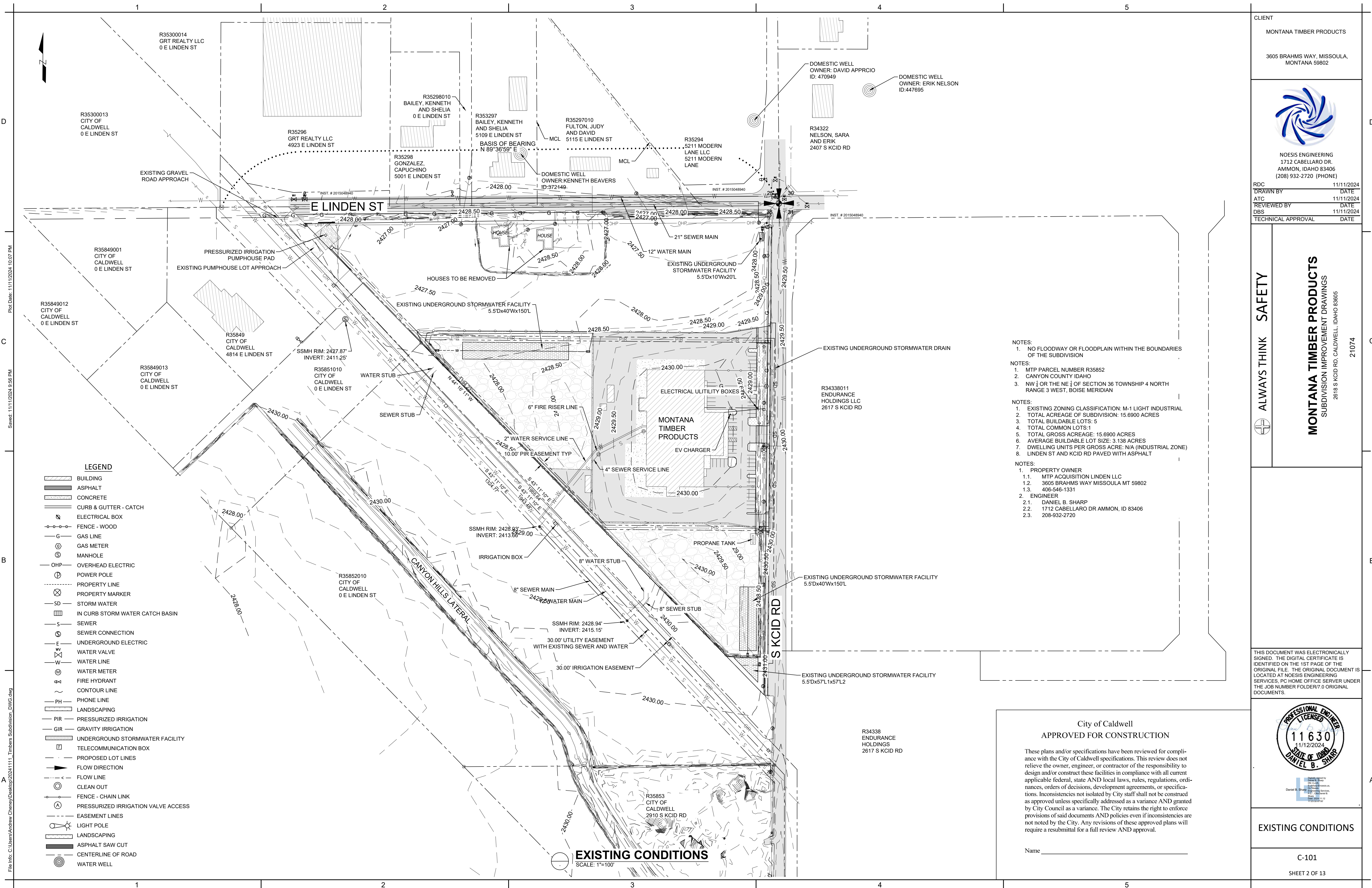
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COVER SHEET

C-001
SHEET 1 OF 13



- LEGEND**
- BUILDING
 - ASPHALT
 - CONCRETE
 - CURB & GUTTER - CATCH
 - ELECTRICAL BOX
 - FENCE - WOOD
 - GAS LINE
 - GAS METER
 - MANHOLE
 - OVERHEAD ELECTRIC
 - POWER POLE
 - PROPERTY LINE
 - PROPERTY MARKER
 - STORM WATER
 - IN CURB STORM WATER CATCH BASIN
 - SEWER
 - SEWER CONNECTION
 - UNDERGROUND ELECTRIC
 - WATER VALVE
 - WATER LINE
 - WATER METER
 - FIRE HYDRANT
 - CONTOUR LINE
 - PHONE LINE
 - LANDSCAPING
 - PRESSURIZED IRRIGATION
 - GRAVITY IRRIGATION
 - UNDERGROUND STORMWATER FACILITY
 - TELECOMMUNICATION BOX
 - PROPOSED LOT LINES
 - FLOW DIRECTION
 - FLOW LINE
 - CLEAN OUT
 - FENCE - CHAIN LINK
 - PRESSURIZED IRRIGATION VALVE ACCESS
 - EASEMENT LINES
 - LIGHT POLE
 - LANDSCAPING
 - ASPHALT SAW CUT
 - CENTERLINE OF ROAD
 - WATER WELL

- NOTES:**
- NO FLOODWAY OR FLOODPLAIN WITHIN THE BOUNDARIES OF THE SUBDIVISION
- NOTES:**
- MTP PARCEL NUMBER R35852
 - CANYON COUNTY IDAHO
 - NW 1/4 OR THE NE 1/4 OF SECTION 36 TOWNSHIP 4 NORTH RANGE 3 WEST, BOISE MERIDIAN
- NOTES:**
- EXISTING ZONING CLASSIFICATION: M-1 LIGHT INDUSTRIAL
 - TOTAL ACREAGE OF SUBDIVISION: 15.6900 ACRES
 - TOTAL BUILDABLE LOTS: 5
 - TOTAL COMMON LOTS: 1
 - TOTAL GROSS ACREAGE: 15.6900 ACRES
 - AVERAGE BUILDABLE LOT SIZE: 3.138 ACRES
 - DWELLING UNITS PER GROSS ACRE: N/A (INDUSTRIAL ZONE)
 - LINDEN ST AND KCID RD PAVED WITH ASPHALT
- NOTES:**
- PROPERTY OWNER
 - MTP ACQUISITION LINDEN LLC
 - 3605 BRAHMS WAY MISSOULA MT 59802
 - 406-546-1331
 - ENGINEER
 - DANIEL B. SHARP
 - 1712 CABELLARO DR AMMON, ID 83406
 - 208-932-2720

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MONTANA TIMBER PRODUCTS

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NOESIS ENGINEERING
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AMMON, IDAHO 83406
(208) 932-2720 (PHONE)

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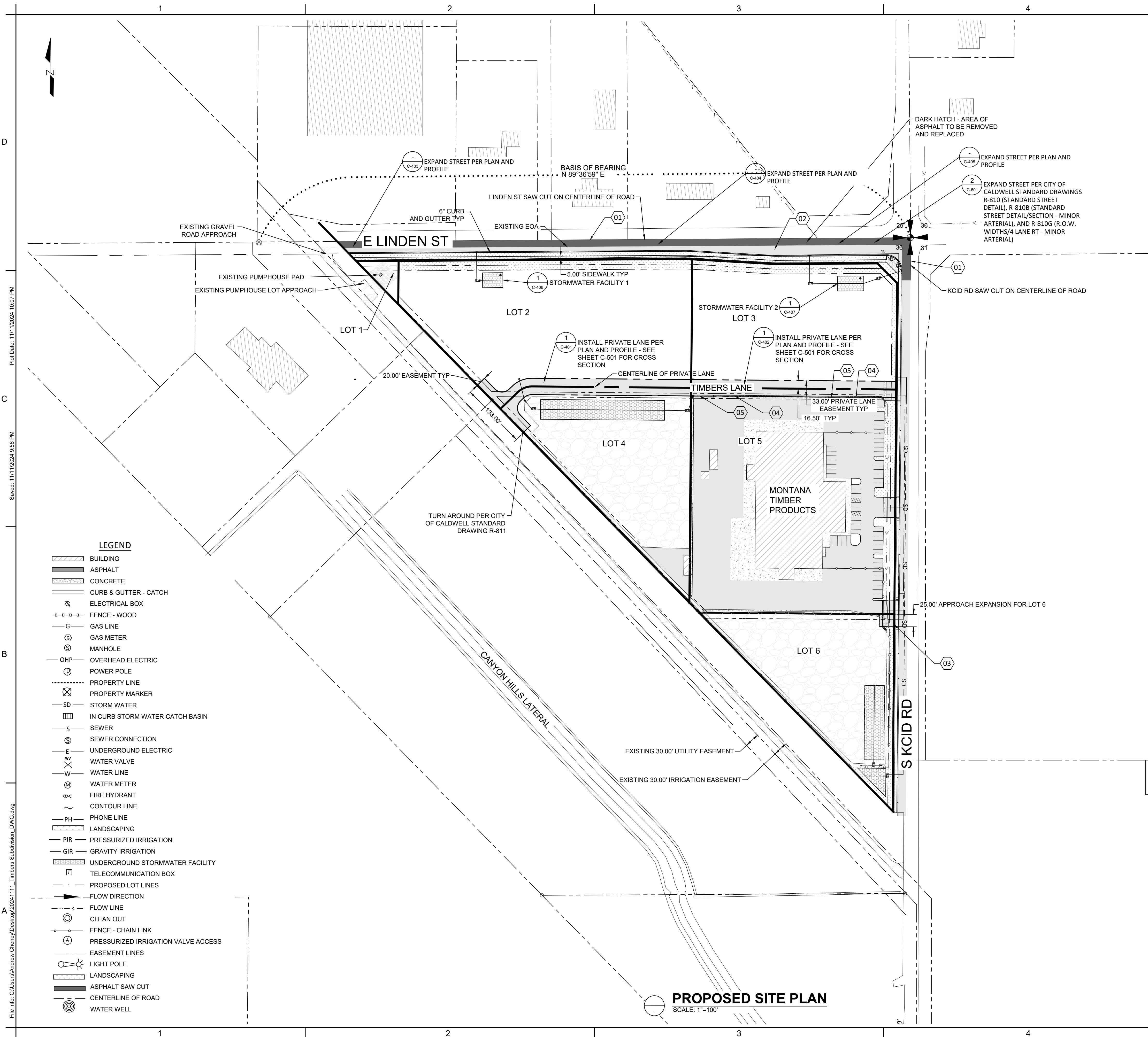
PROFESSIONAL ENGINEER
LICENSED
11630
11/12/2024
STATE OF IDAHO
DANIEL B. SHARP

Approved by
Daniel B. Sharp
Professional Engineer
Noesis Engineering
1712 Cabellaro Dr.
Ammon, ID 83406
208-932-2720

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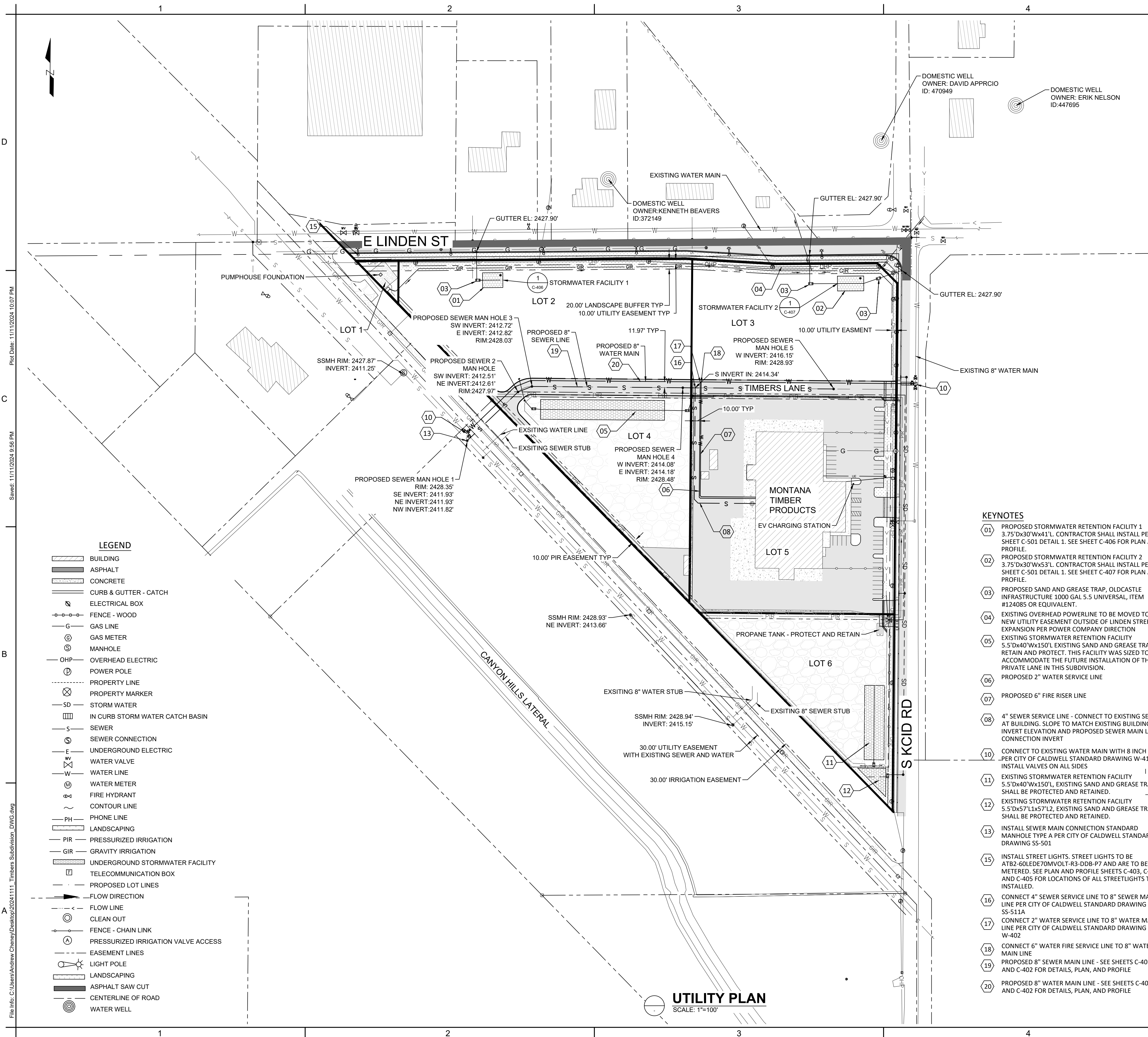
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PROPOSED SITE PLAN

C-102
SHEET 3 OF 13

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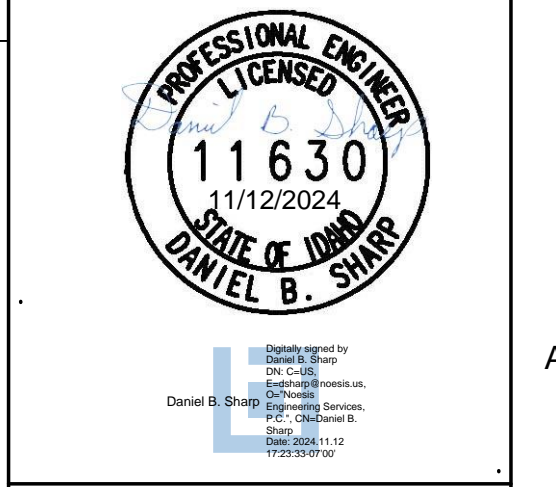
- KEYNOTES**
- 01 PROPOSED STORMWATER RETENTION FACILITY 1 3.75'Dx30'Wx41'L. CONTRACTOR SHALL INSTALL PER SHEET C-501 DETAIL 1. SEE SHEET C-406 FOR PLAN AND PROFILE.
 - 02 PROPOSED STORMWATER RETENTION FACILITY 2 3.75'Dx30'Wx53'L. CONTRACTOR SHALL INSTALL PER SHEET C-501 DETAIL 1. SEE SHEET C-407 FOR PLAN AND PROFILE.
 - 03 PROPOSED SAND AND GREASE TRAP, OLDCASTLE INFRASTRUCTURE 1000 GAL 5.5 UNIVERSAL, ITEM #124085 OR EQUIVALENT.
 - 04 EXISTING OVERHEAD POWERLINE TO BE MOVED TO NEW UTILITY EASEMENT OUTSIDE OF LINDEN STREET EXPANSION PER POWER COMPANY DIRECTION
 - 05 EXISTING STORMWATER RETENTION FACILITY 5.5'Dx40'Wx150'L EXISTING SAND AND GREASE TRAP - RETAIN AND PROTECT. THIS FACILITY WAS SIZED TO ACCOMMODATE THE FUTURE INSTALLATION OF THE PRIVATE LANE IN THIS SUBDIVISION.
 - 06 PROPOSED 2" WATER SERVICE LINE
 - 07 PROPOSED 6" FIRE RISER LINE
 - 08 4" SEWER SERVICE LINE - CONNECT TO EXISTING SEWER AT BUILDING. SLOPE TO MATCH EXISTING BUILDING INVERT ELEVATION AND PROPOSED SEWER MAIN LINE CONNECTION INVERT
 - 10 CONNECT TO EXISTING WATER MAIN WITH 8 INCH TEE PER CITY OF CALDWELL STANDARD DRAWING W-412. INSTALL VALVES ON ALL SIDES
 - 11 EXISTING STORMWATER RETENTION FACILITY 5.5'Dx40'Wx150'L, EXISTING SAND AND GREASE TRAP SHALL BE PROTECTED AND RETAINED.
 - 12 EXISTING STORMWATER RETENTION FACILITY 5.5'Dx57'Lx57'L2, EXISTING SAND AND GREASE TRAP SHALL BE PROTECTED AND RETAINED.
 - 13 INSTALL SEWER MAIN CONNECTION STANDARD DRAWING SS-501
 - 15 INSTALL STREET LIGHTS. STREET LIGHTS TO BE ATB2-60LEDE70MVOLT-R3-DDB-P7 AND ARE TO BE METERED. SEE PLAN AND PROFILE SHEETS C-403, C-404, AND C-405 FOR LOCATIONS OF ALL STREETLIGHTS TO BE INSTALLED.
 - 16 CONNECT 4" SEWER SERVICE LINE TO 8" SEWER MAIN LINE PER CITY OF CALDWELL STANDARD DRAWING SS-511A
 - 17 CONNECT 2" WATER SERVICE LINE TO 8" WATER MAIN LINE PER CITY OF CALDWELL STANDARD DRAWING W-402
 - 18 CONNECT 6" WATER FIRE SERVICE LINE TO 8" WATER MAIN LINE
 - 19 PROPOSED 8" SEWER MAIN LINE - SEE SHEETS C-401 AND C-402 FOR DETAILS, PLAN, AND PROFILE
 - 20 PROPOSED 8" WATER MAIN LINE - SEE SHEETS C-401 AND C-402 FOR DETAILS, PLAN, AND PROFILE

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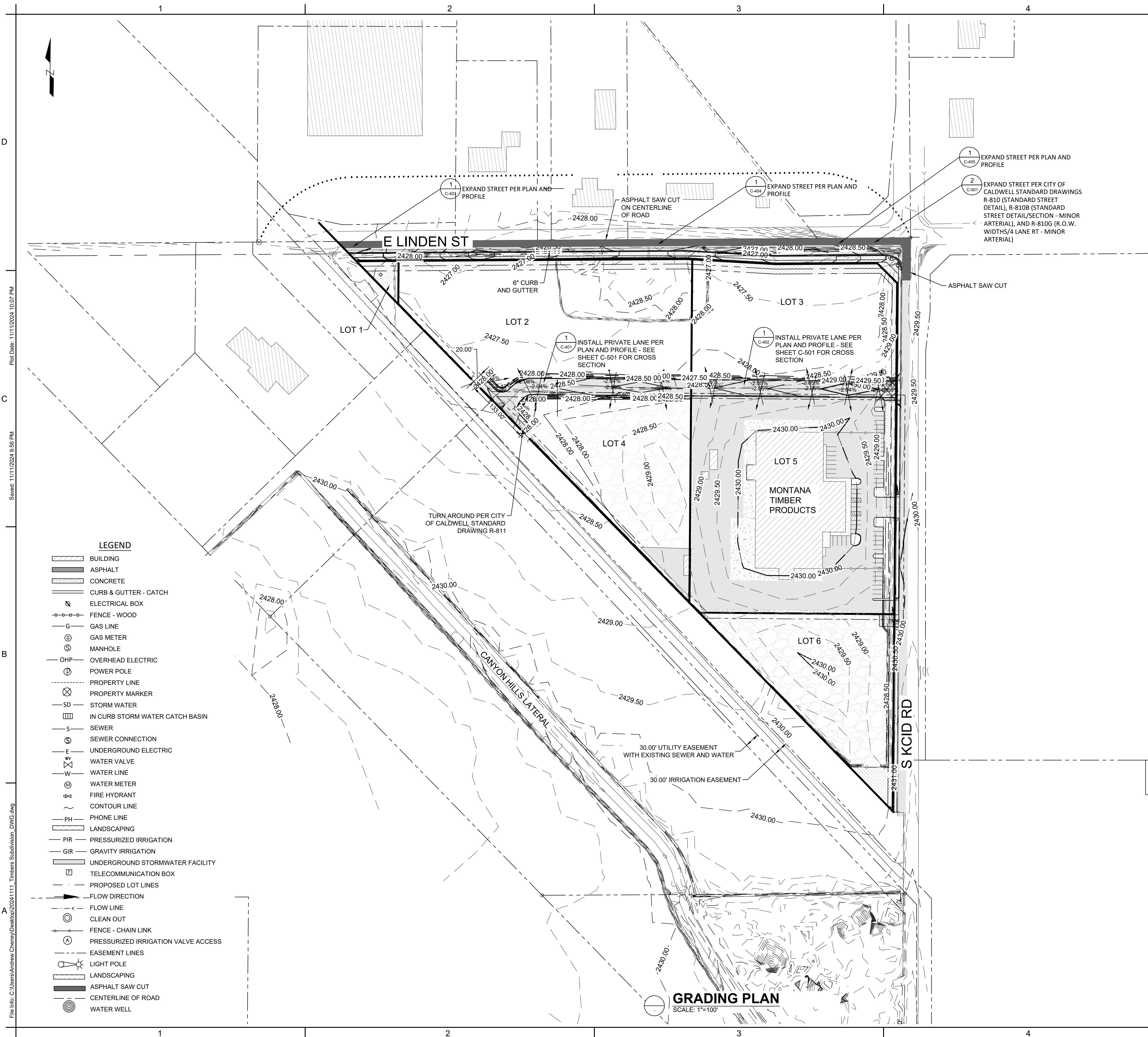
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UTILITY PLAN

C-103
SHEET 4 OF 13

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- LEGEND**
- BUILDING
 - ASPHALT
 - CONCRETE
 - CURB & GUTTER - CATCH
 - ELECTRICAL BOX
 - FENCE - WOOD
 - GAS LINE
 - GAS METER
 - MANHOLE
 - OHP - OVERHEAD ELECTRIC
 - POWER POLE
 - PROPERTY LINE
 - PROPERTY MARKER
 - SD - STORM WATER
 - IN CURB STORM WATER CATCH BASIN
 - S - SEWER
 - SEWER CONNECTION
 - UNDERGROUND ELECTRIC
 - WATER VALVE
 - W - WATER LINE
 - WATER METER
 - FIRE HYDRANT
 - CONTOUR LINE
 - PH - PHONE LINE
 - LANDSCAPING
 - PIR - PRESSURIZED IRRIGATION
 - GIR - GRAVITY IRRIGATION
 - UNDERGROUND STORMWATER FACILITY
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 - ASPHALT SAW CUT
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 - WATER WELL

GRADING PLAN
SCALE: 1"=100'



NOTES:
1. SEE PLAN AND PROFILE SHEETS C-401, C-402, C-403, C-404, C-405, C-406 AND C-407 FOR ENLARGED GRADING PLANS

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MONTANA 59802

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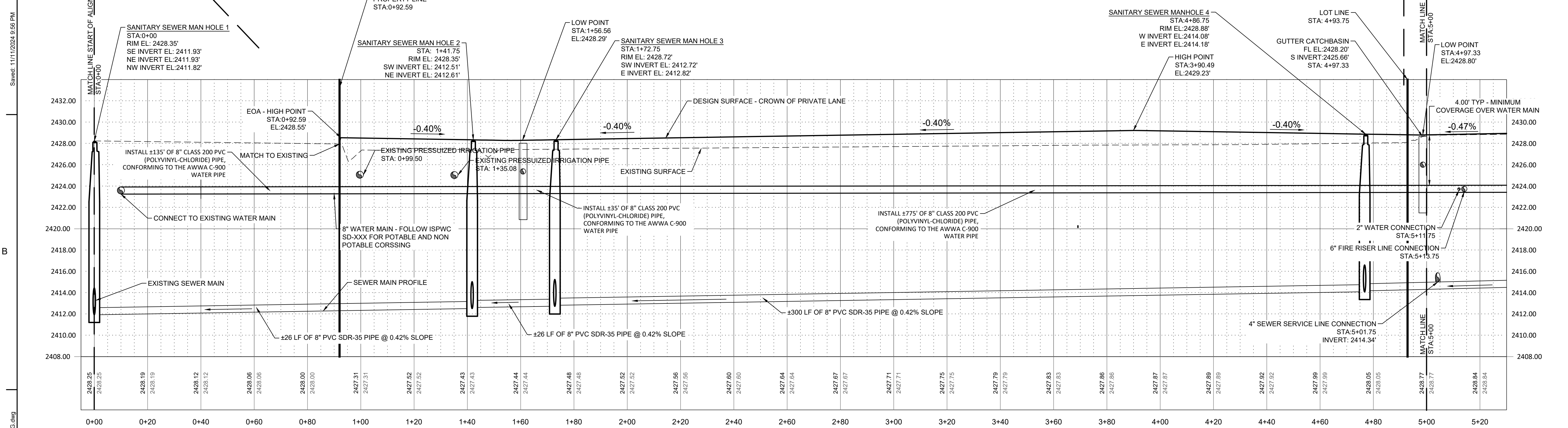
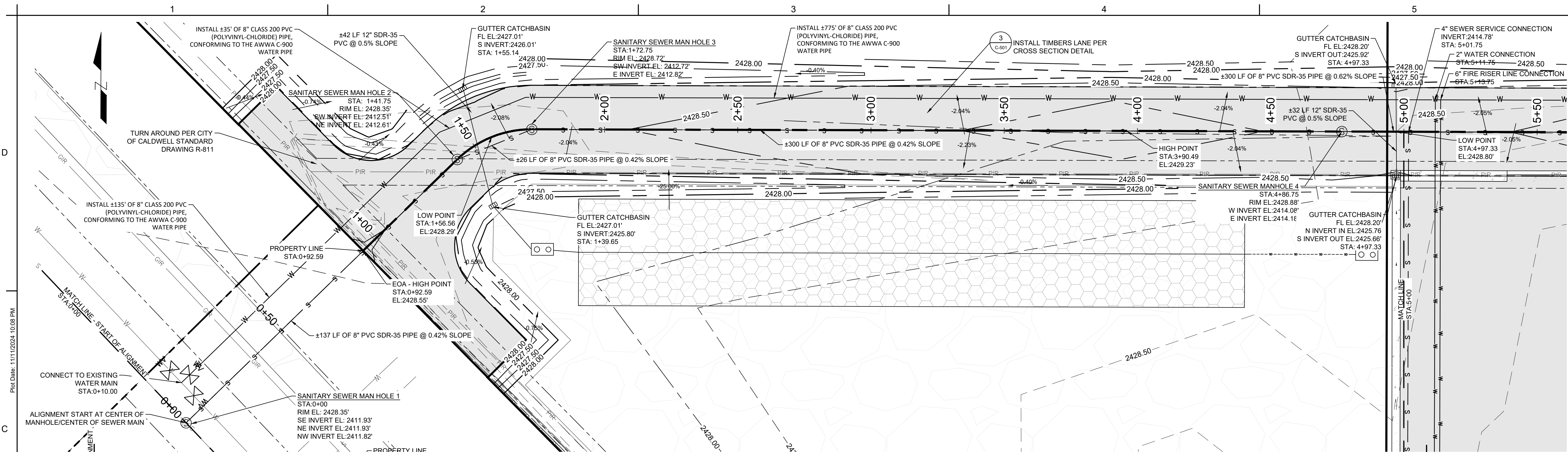
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GRADING PLAN

C-104
SHEET 5 OF 13

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- NOTES:**
1. INSTALL ALL SANITARY SEWER MANHOLES PER CITY OF CALDWELL STANDARD DRAWING S5-501 - TYPE A MANHOLES
 2. MAINTAIN ALL POTABLE AND NON-POTABLE WATER LINE SEPARATIONS PER ISPCWC SD-407

TIMBERS LANE PLAN AND PROFILE 1

PROFILE HORIZONTAL SCALE: 1"=20'
 PROFILE VERTICAL SCALE: 1"=5'
 PLAN SCALE: 1"=20'

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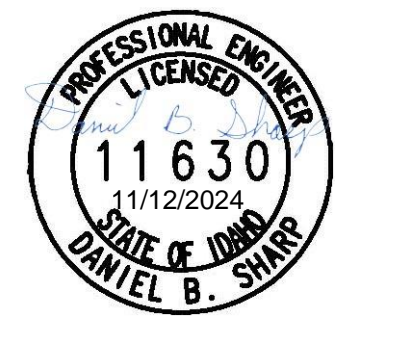
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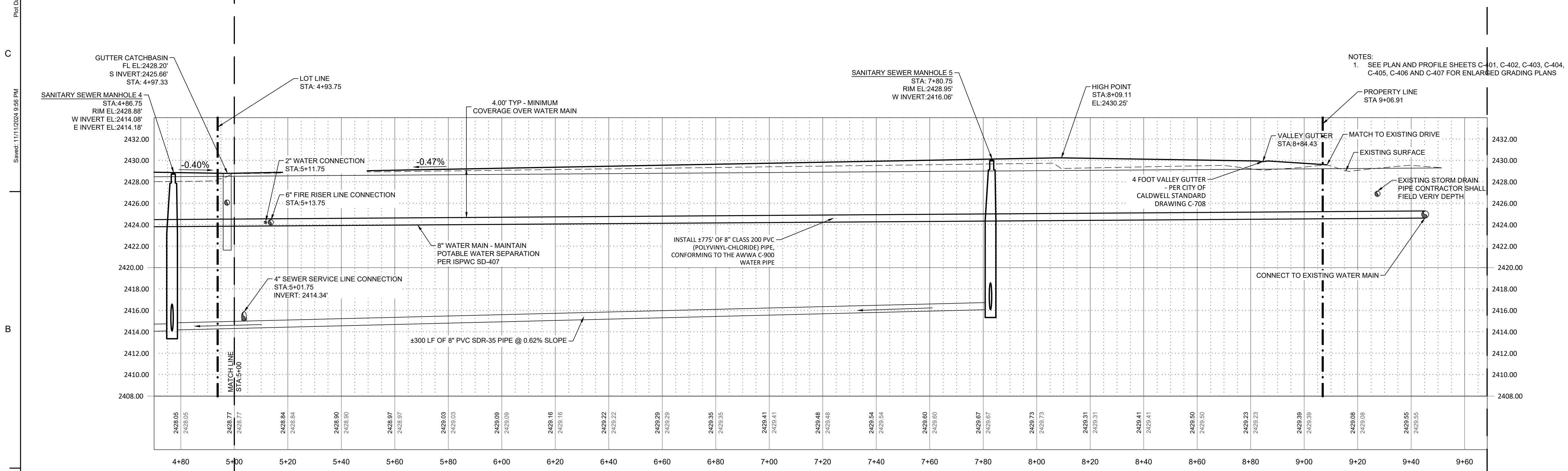
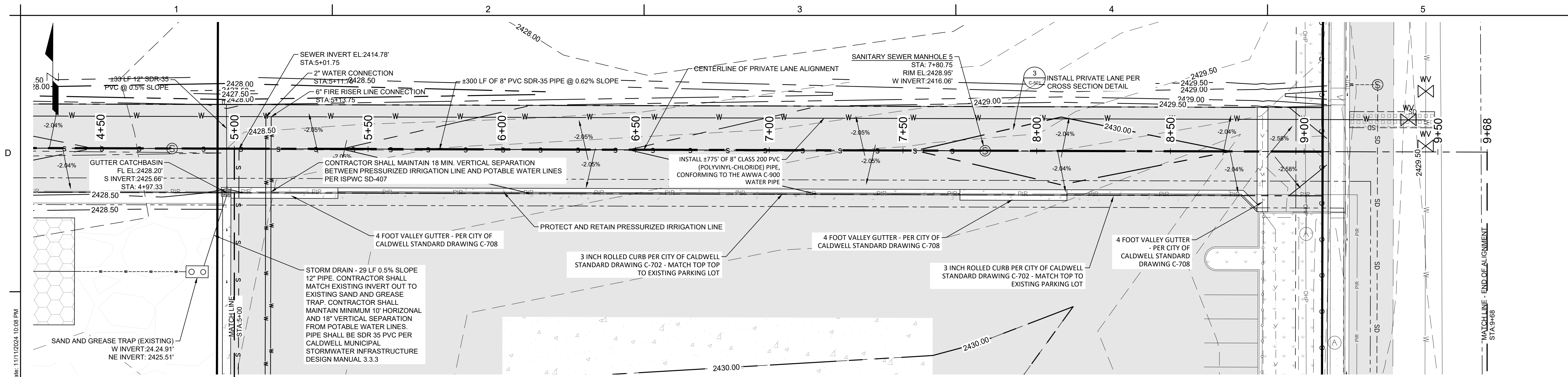
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TIMBERS LANE PLAN AND PROFILE

C-401
 SHEET 6 OF 13



- NOTES:**
- INSTALL ALL SANITARY SEWER MANHOLES PER CITY OF CALDWELL STANDARD DRAWING SS-501 - TYPE A MANHOLES
 - MAINTAIN ALL POTABLE AND NON-POTABLE WATER LINE SEPARATIONS PER ISWPC SD-407

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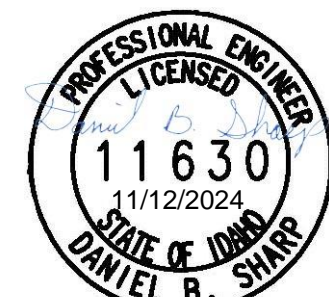
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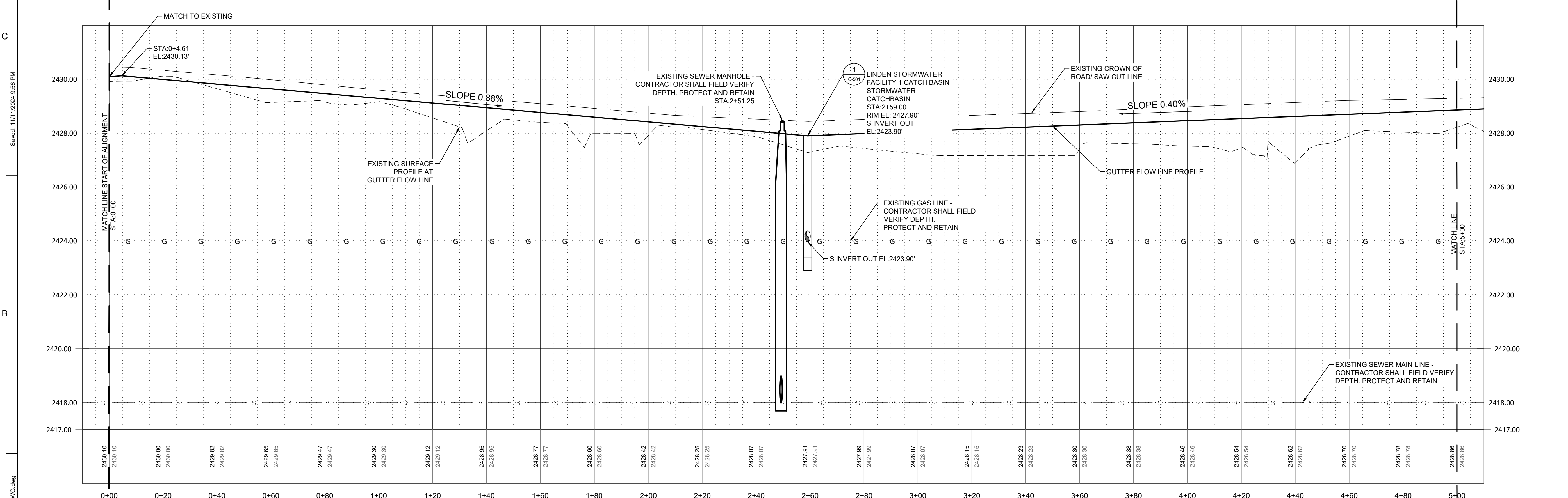
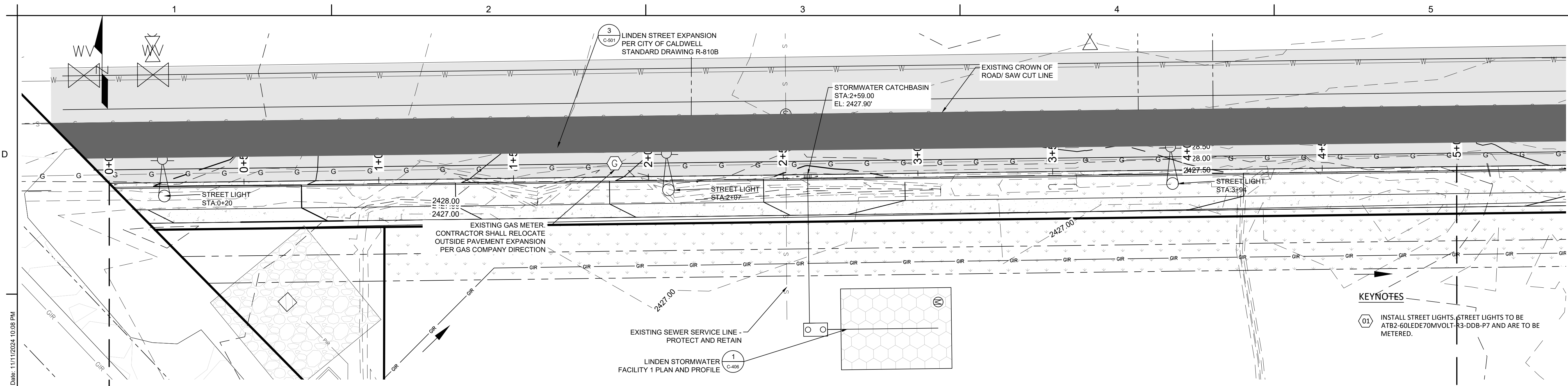
TIMBERS LANE PLAN AND PROFILE

C-402
SHEET 7 OF 13

TIMBERS LANE PLAN AND PROFILE

PROFILE HORIZONTAL SCALE: 1"=20'
PROFILE VERTICAL SCALE: 1"=5'
PLAN SCALE: 1"=20'

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KEYNOTES

01 INSTALL STREET LIGHTS. STREET LIGHTS TO BE AT B2-60LEDE70MVOLT-R3-DD8-P7 AND ARE TO BE METERED.

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NOTES:
 1. MAINTAIN ALL POTABLE AND NON-POTABLE WATER LINE SEPARATIONS PER ISWPC SD-407

LINDEN PLAN AND PROFILE
 PROFILE HORIZONTAL SCALE: 1"=20'
 PROFILE VERTICAL SCALE: 1"=2'
 PLAN SCALE: 1"=20'

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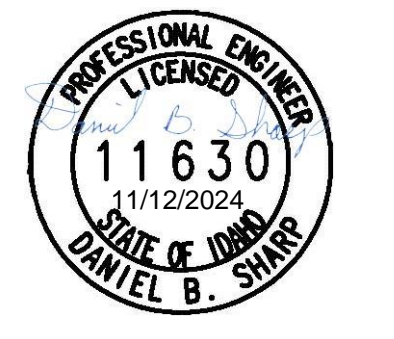
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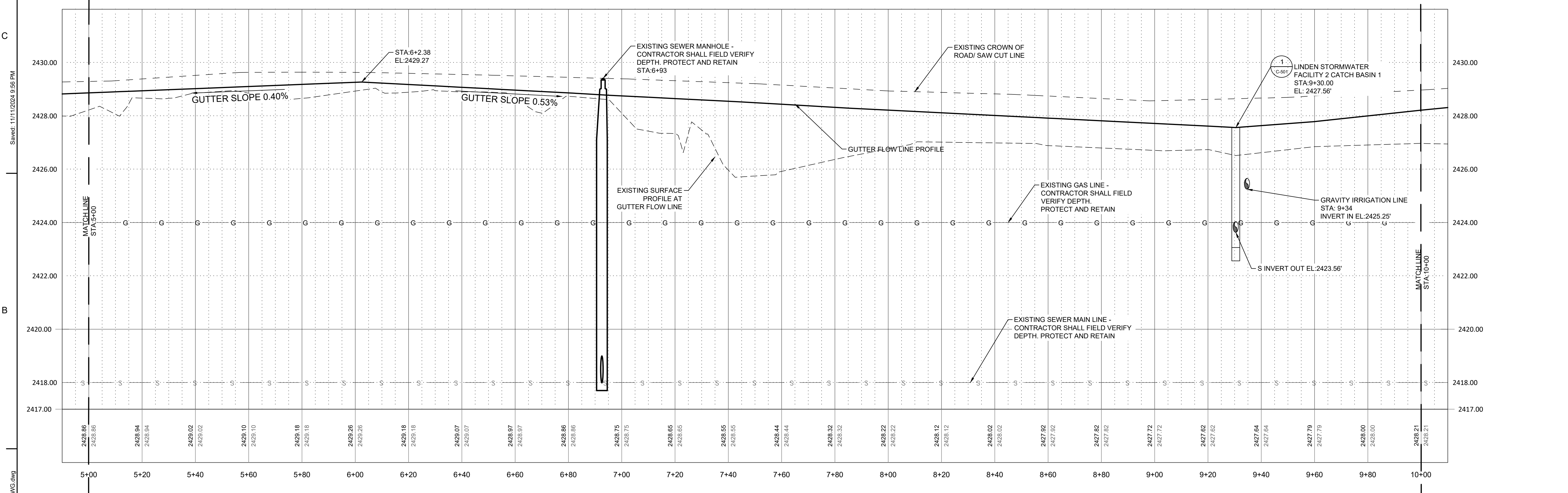
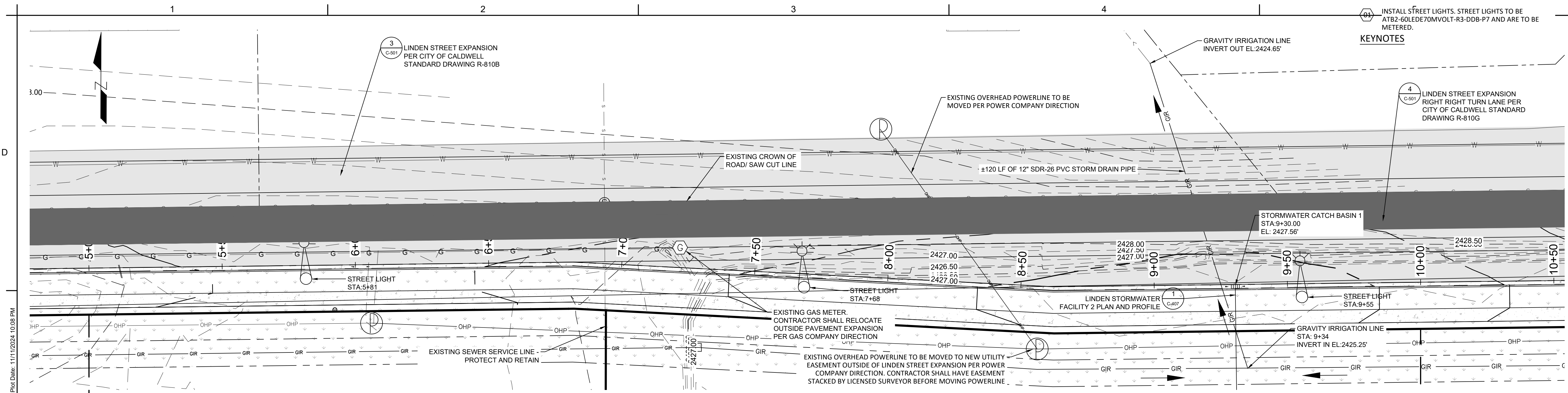
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LINDEN PLAN AND PROFILE

C-403
 SHEET 8 OF 13



NOTES:
 1. MAINTAIN ALL POTABLE AND NON-POTABLE WATER LINE SEPARATIONS PER ISPMC SD-407

LINDEN PLAN AND PROFILE
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 PROFILE VERTICAL SCALE: 1"=2'
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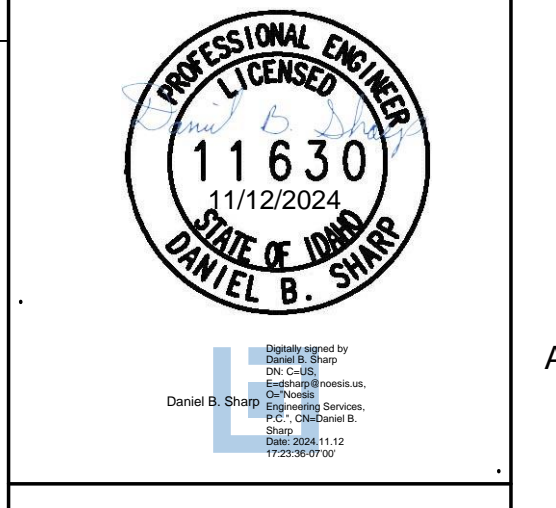
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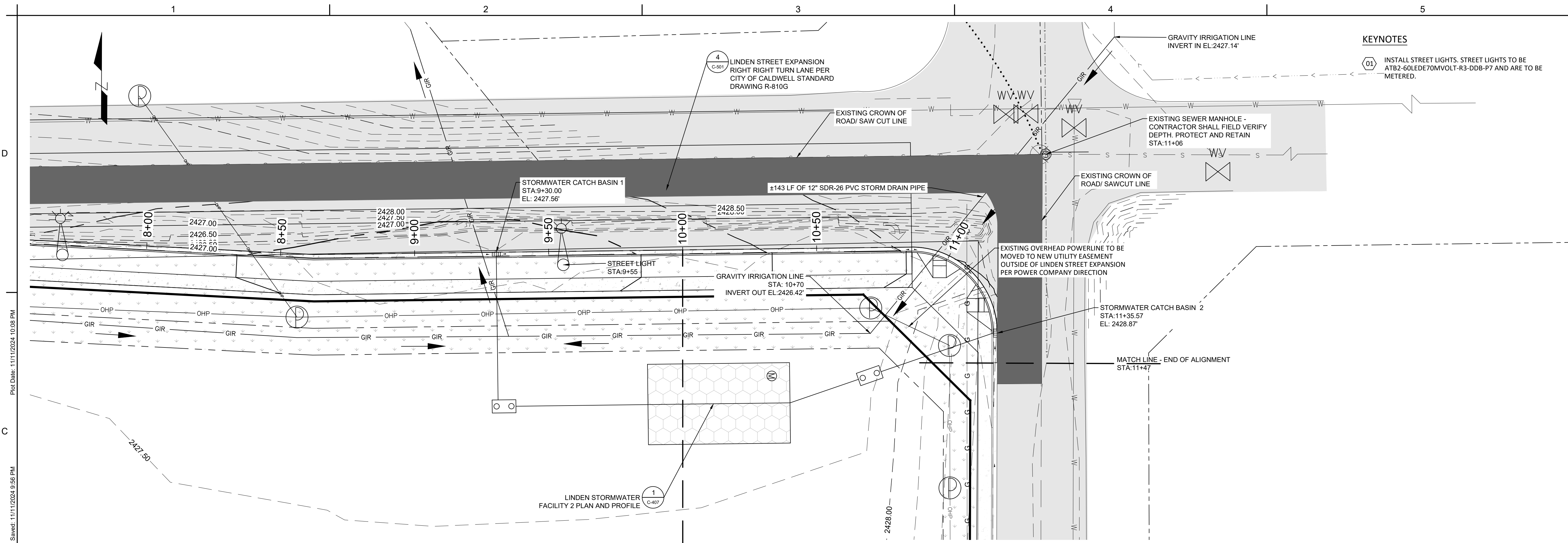
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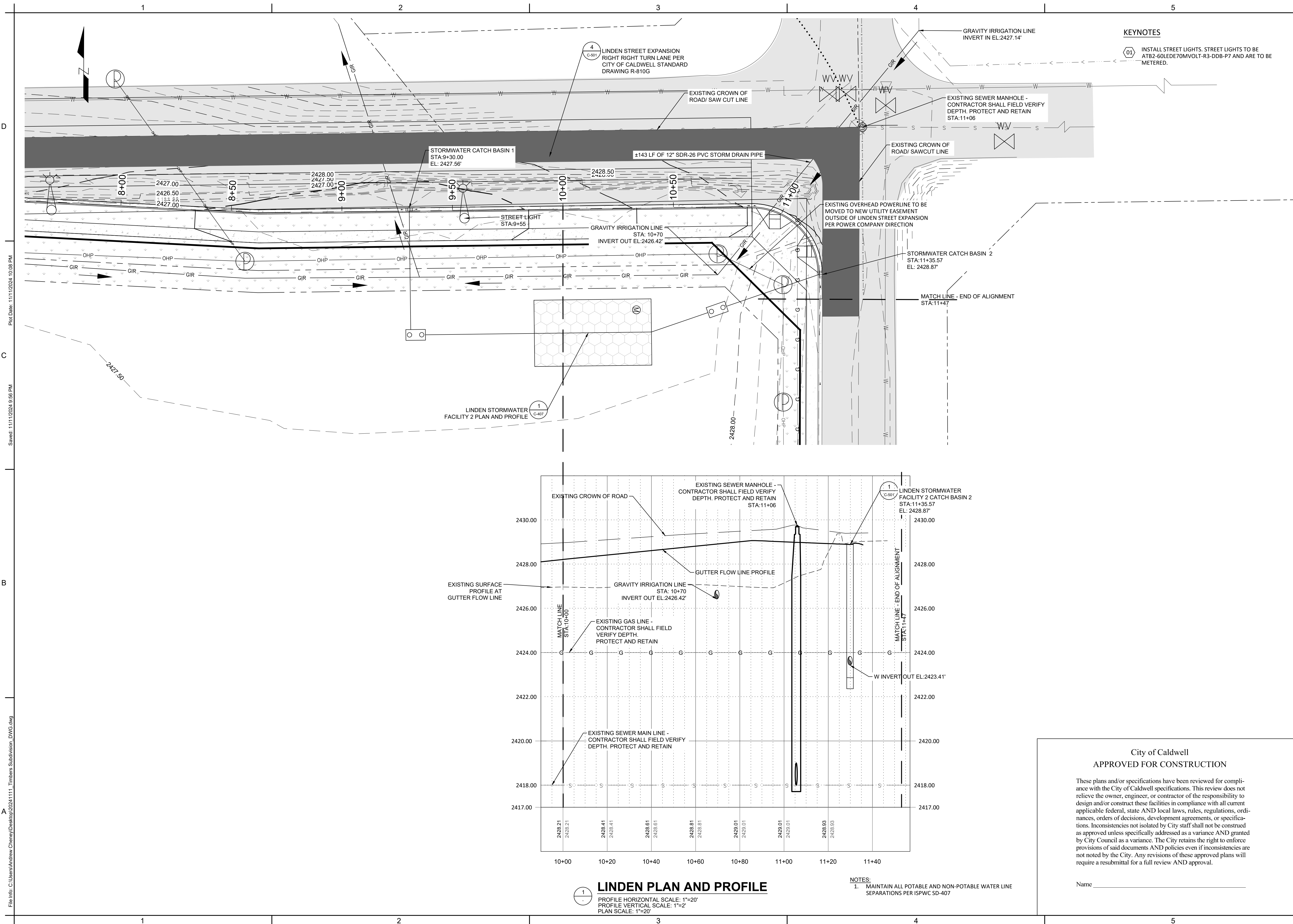
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LINDEN PLAN AND PROFILE
 C-404
 SHEET 9 OF 13



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LINDEN PLAN AND PROFILE

PROFILE HORIZONTAL SCALE: 1"=20'
 PROFILE VERTICAL SCALE: 1"=2'
 PLAN SCALE: 1"=20'

- NOTES:**
1. MAINTAIN ALL POTABLE AND NON-POTABLE WATER LINE SEPARATIONS PER IS/PWC SD-407

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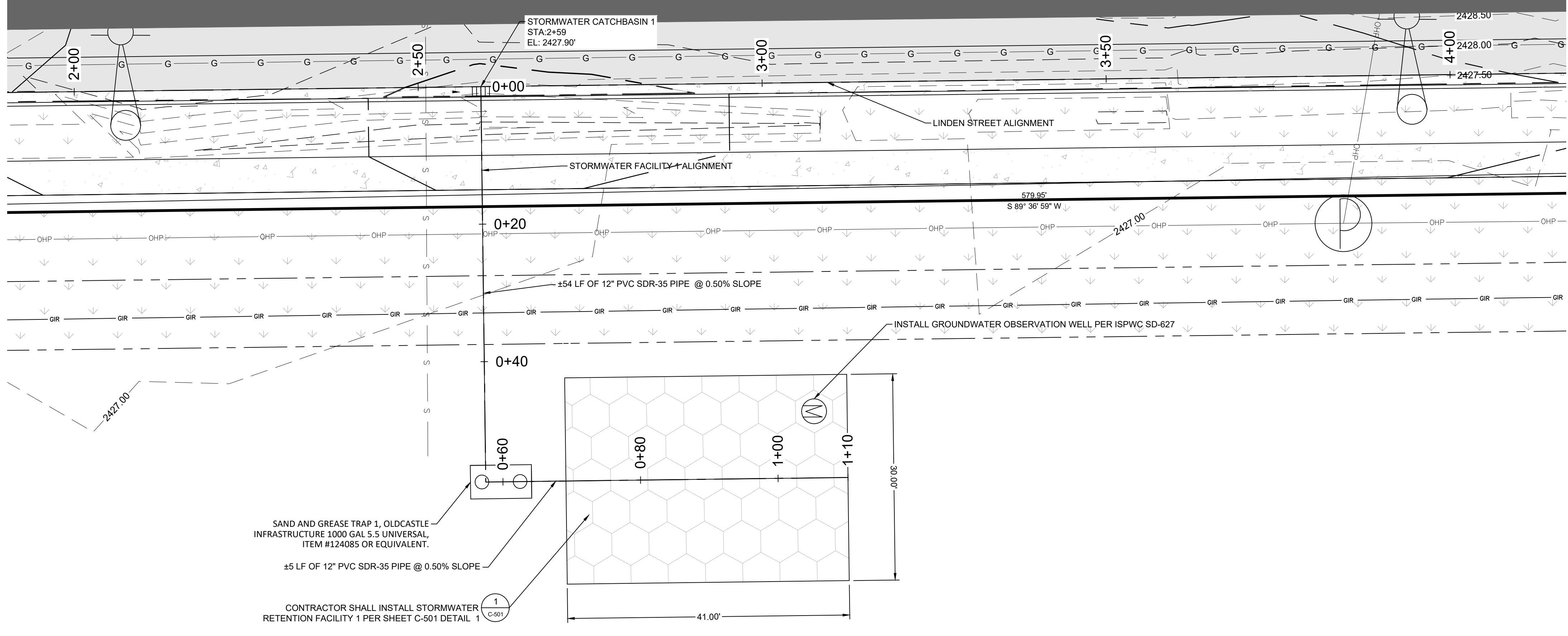
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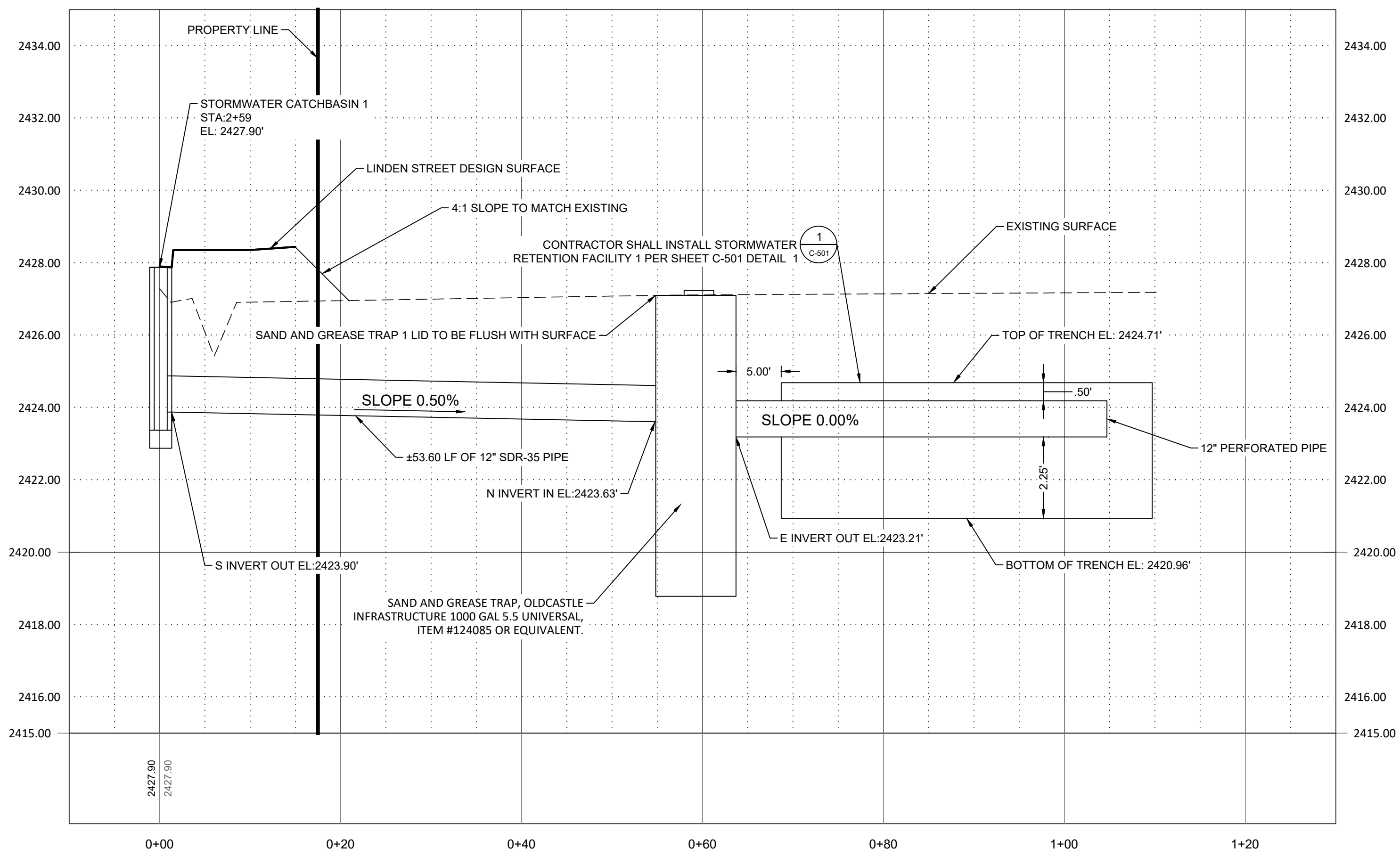
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SAND AND GREASE TRAP 1, OLDCASTLE INFRASTRUCTURE 1000 GAL 5.5 UNIVERSAL, ITEM #124085 OR EQUIVALENT.

±5 LF OF 12" PVC SDR-35 PIPE @ 0.50% SLOPE

CONTRACTOR SHALL INSTALL STORMWATER RETENTION FACILITY 1 PER SHEET C-501 DETAIL 1



LINDEN STORMWATER FACILITY 1
 PROFILE HORIZONTAL SCALE: 1"=10'

PROFILE VERTICAL SCALE: 1"=2.5'
 PLAN SCALE: 1"=20'

NOTES:
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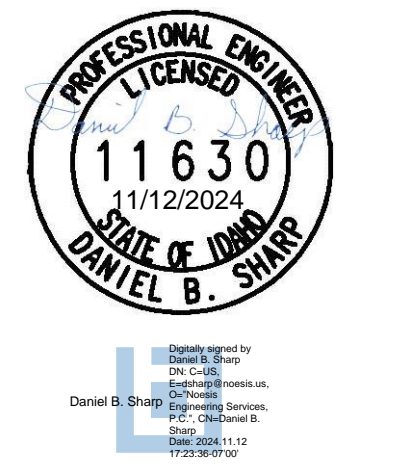
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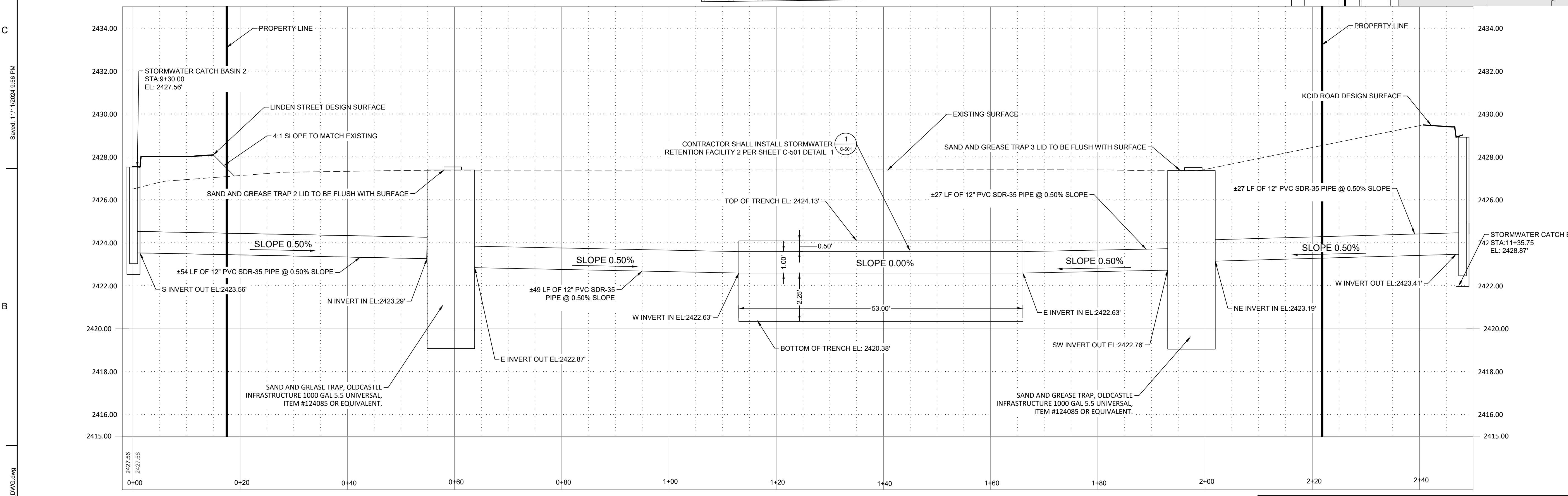
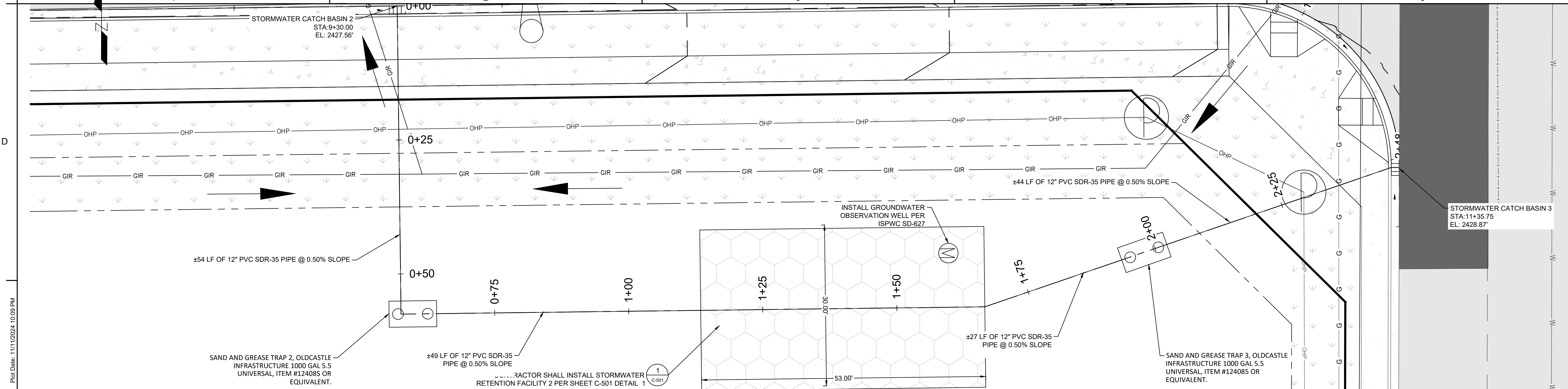
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**STORMWATER FACILITY 1
 PLAN AND PROFILE**

C-406
 SHEET 11 OF 13

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NOTES:
 1. MAINTAIN ALL POTABLE AND NON-POTABLE WATER LINE SEPARATIONS PER ISPWC SD-407

LINDEN STORMWATER FACILITY 2
 PROFILE HORIZONTAL SCALE: 1"=20'
 PROFILE VERTICAL SCALE: 1"=2.5'
 PLAN SCALE: 1"=20'

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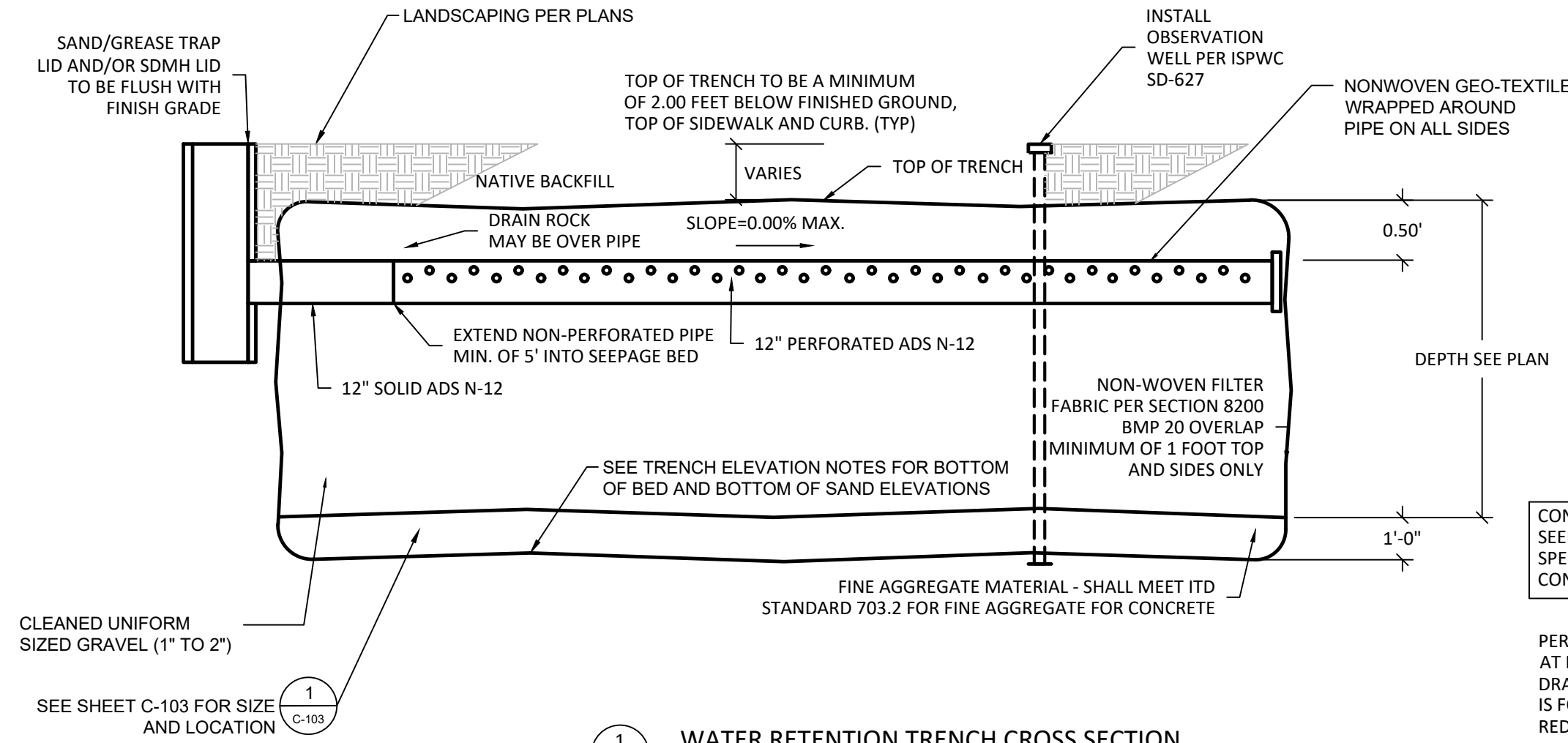
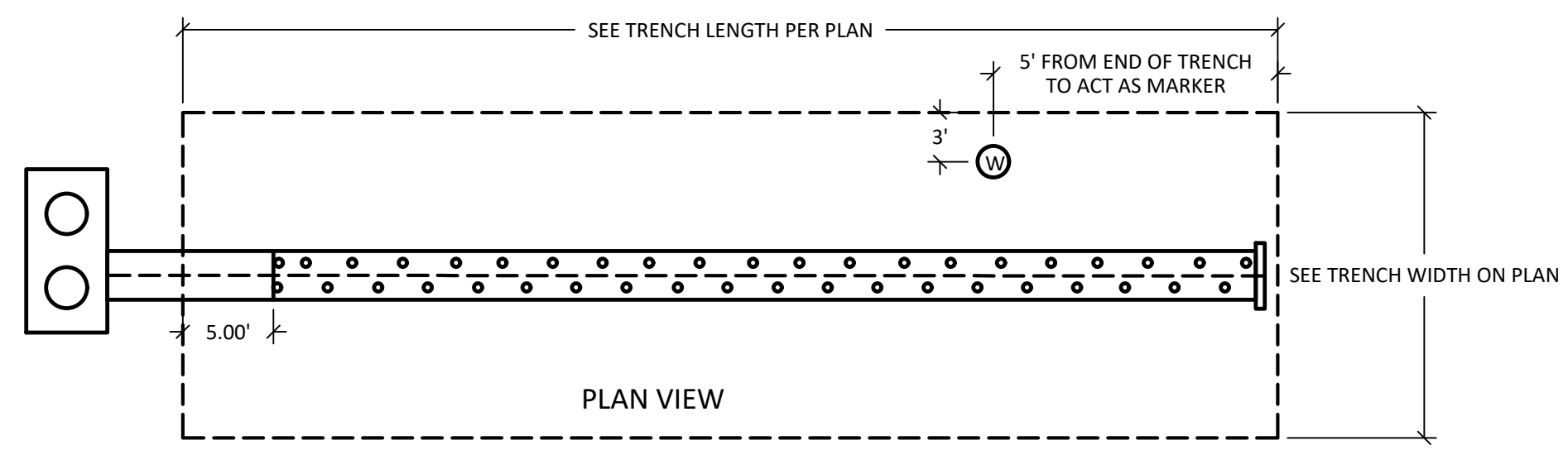
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1 WATER RETENTION TRENCH CROSS SECTION

- NOTES:
1. SETBACKS AND HORIZONTAL SEPARATION DISTANCES
 - 1.1. 100' FROM EXISTING DOMESTIC WATER WELLS
 - 1.2. 50' FROM PERENNIAL AND IRRIGATION SURFACE WATER
 - 1.3. 25' FROM POTABLE WATER MAIN
 - 1.4. 25' FROM BASEMENTS
 - 1.5. 10' FROM HOME FOUNDATIONS WITHOUT BASEMENTS
 - 1.6. 10' HORIZONTAL AND 1.5' VERTICAL SEPARATION FROM POTABLE WATER MAINS
 - 1.7. BOTTOM OF INFILTRATION FACILITY SHALL HAVE 18" OF VERTICALLY SEPARATION FROM BEDROCK LAYER, OR IMPERVIOUS SOIL LAYERS, UNLESS SUCH LAYERS ARE REMOVED AND FILLED WITH SUITABLE DRAIN MATERIAL.
 - 1.8. 24" OF FINE AGGREGATE MATERIAL SHALL BE INSTALLED BELOW INFILTRATION FACILITY IF WITHIN 3' OF HIGH WATER TABLE
 2. 4 OZ MIN. NON-WOVEN GEOTEXTILE FABRIC SHALL BE INSTALLED BETWEEN THE SOIL AND ROCK. NO FILTER FABRIC SHOULD BE PLACED BETWEEN STORAGE MEDIA AND SAND FILTER. NO FILTER FABRIC SHOULD BE PLACED AT BOTTOM OF INFILTRATION FACILITY
 3. ROCK SHALL BE CONSOLIDATED WITH A VIBRATORY PLATE COMPACTOR AT 12" LIFTS
 4. NO IMPERMEABLE LINER TO ALLOW RUNOFF TO INFILTRATE THE SURROUNDING SOIL
 5. OBSERVATION WELL SHALL BE INSTALLED ON THE CENTER OF THE RETENTION FACILITY WITH A MAX SPACING OF 50 FT.
 6. THE LAST MANHOLE/CATCH BASIN BEFORE ALL CATCH BASINS SHALL BE CLEANED AT THE END OF CONSTRUCTION BY CONTRACTOR. OWNER SHALL MONITORED AND CLEAN AS NEEDED AFTER CONSTRUCTION.
 7. PERCOLATION FACILITY SHALL COMPLY WITH CALDWELL MUNICIPAL STORMWATER INFRASTRUCTURE DESIGN MANUAL - MARCH 2024

CONTRACTOR TO HAVE PERCOLATION TESTS PERFORMED BY SOILS ENGINEER AFTER SEEPAGE TRENCHES ARE FULLY EXCAVATED. IF THE PERCOLATION IS LESS THAN SPECIFIED BY THE SOILS REPORT AND ENGINEER, CONTRACTOR WILL NEED TO CONTACT ENGINEER OF RECORD IMMEDIATELY FOR REDESIGN.

PER THE SOIL REPORT COMPLETED BY ATLAS GROUNDWATER WAS ENCOUNTERED AT DEPTHS RANGING FROM 11.2 TO 12.5. CONTRACTOR TO EXCAVATE 3-FT BELOW DRAIN ROCK TO ENSURE THERE IS NO GROUND WATER PRESENT. IF GROUND WATER IS FOUND, CONTRACTOR TO CONTACT ENGINEER OF RECORD IMMEDIATELY FOR REDESIGN.

ALL SEEPAGE BED ON THIS LOT HAS DESIGN PERCOLATION RATE OF 2.16" PER HOUR (1.512 IN/HR WITH 70% REDUCTION) BASED ON ATLAS SOIL REPORT. PERCOLATION RATES SHALL BE VERIFIED IN THE FIELD BY SOILS ENGINEER.

CONTRACTOR TO COORDINATE PERCOLATION TEST WITH GEOTECHNICAL ENGINEER FOR EACH FOR EACH SEEPAGE TRENCH LOCATION PRIOR TO PLACEMENT OF ANY MATERIAL.

SEE PLANS FOR LOCATIONS OF MONITORING WELLS, THIS DETAIL ONLY SHOWS THEM FOR REFERENCE AND DISTANCE FROM TRENCH. MONITORING WELL MAY BE LOCATED ON EITHER END OF SEEPAGE TRENCH.

- STORMWATER RETENTION FACILITY 1:
1. GRAVEL BED PERCOLATION FACILITY
 2. RETENTION OF 100 YEAR STORM EVENT
 3. VOID SPACE %: 40%
 4. ROCK BED WIDTH: 30 FT
 5. ROCK BED LENGTH: 41 FT
 6. ROCK BED HEIGHT: 3.75 FT
 7. SAND WINDOW AREA - 1230 SQ FT
 8. MAX WATER LEVEL AREA - 1230 SQ FT
 9. TOTAL VOLUME OF FACILITY - 4612.5 FT³
 10. WATER RETENTION CAPACITY - 1845 FT³
 11. DESIGN INFILTRATION RATE - 1.512 IN/HR

- CATCH BASIN 1 ELEVATIONS
1. GUTTER FLOW LINE - 2427.90'
 2. SOUTH INVERT OUT - 2423.90'

- SAND AND GREASE TRAP 1 ELEVATIONS
1. NORTH INVERT IN - 2423.63'
 2. EAST INVERT OUT - 2423.21'

- GRAVEL TRENCH 1 ELEVATION
1. TOP OF TRENCH - 2424.71'
 2. WEST INVERT IN - 2423.21'
 3. BOTTOM OF TRENCH - 2420.96'
 4. TOP OF SAND FILTER - 2420.96'
 5. BOTTOM OF SAND FILTER - 2419.96'

- STORMWATER RETENTION FACILITY 2:
1. GRAVEL BED PERCOLATION FACILITY
 2. RETENTION OF 100 YEAR STORM EVENT
 3. VOID SPACE %: 40%
 4. ROCK BED WIDTH: 30 FT
 5. ROCK BED LENGTH: 53 FT
 6. ROCK BED HEIGHT: 3.75 FT
 7. SAND WINDOW AREA - 1590 SQ FT
 8. MAX WATER LEVEL AREA - 1590 SQ FT
 9. TOTAL VOLUME OF FACILITY - 5962.5 FT³
 10. WATER RETENTION CAPACITY - 2385 FT³
 11. DESIGN INFILTRATION RATE - 1.512 IN/HR

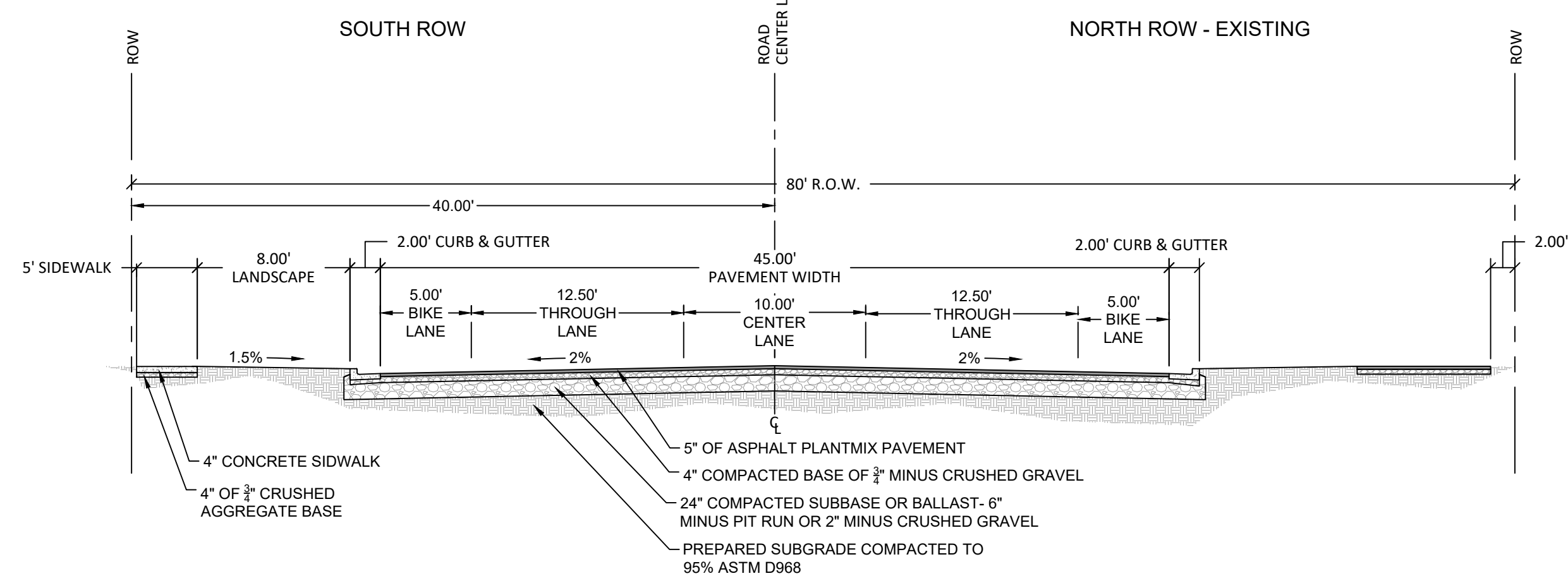
- CATCH BASIN 2 ELEVATIONS
1. GUTTER FLOW LINE - 2427.56'
 2. SOUTH INVERT OUT - 2423.56'

- SAND AND GREASE TRAP 2 ELEVATIONS
1. NORTH INVERT IN - 2423.29'
 2. EAST INVERT OUT - 2422.87'

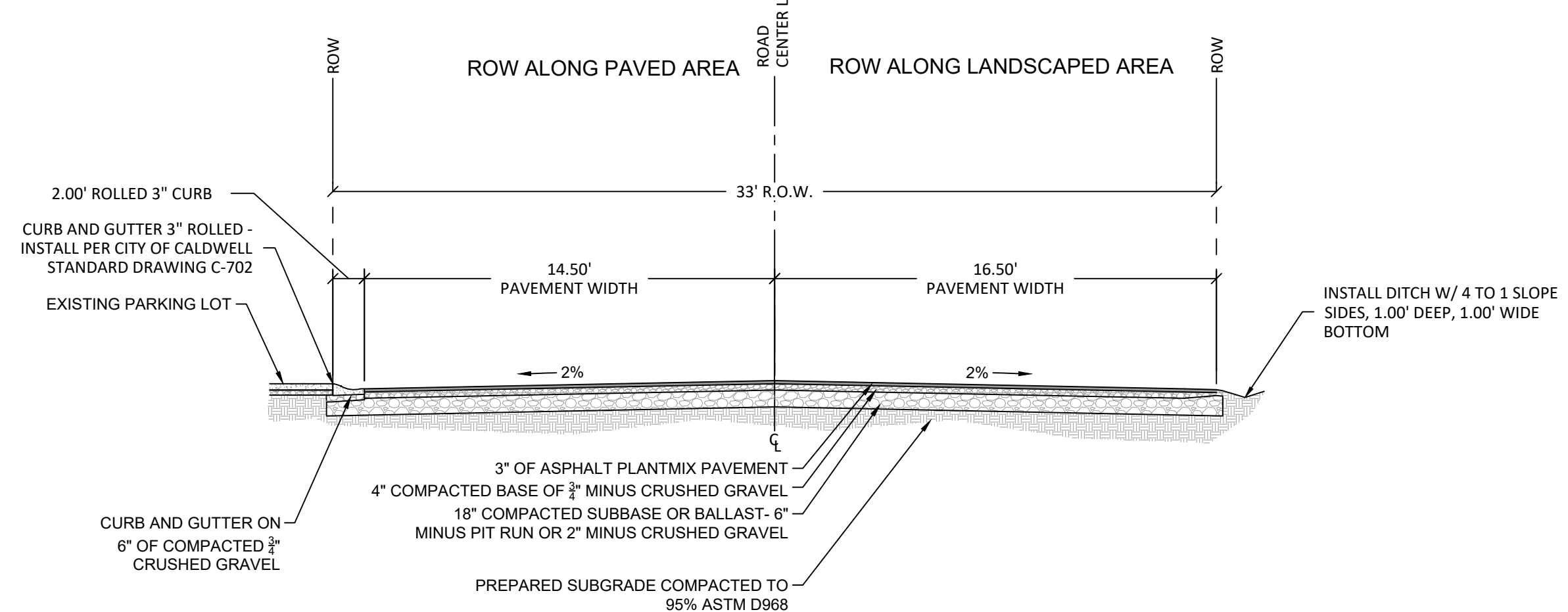
- CATCH BASIN 3 ELEVATIONS
1. GUTTER FLOW LINE - 2428.87'
 2. SOUTH INVERT OUT - 2423.41'

- SAND AND GREASE TRAP 3 ELEVATIONS
1. NE INVERT IN - 2423.19'
 2. SW INVERT OUT - 2422.76'

- GRAVEL TRENCH ELEVATION
1. TOP OF TRENCH - 2405.16'
 2. WEST INVERT IN - 2403.87'
 3. BOTTOM OF TRENCH - 2403.16'
 4. TOP OF SAND FILTER - 2420.38'
 5. BOTTOM OF SAND FILTER - 2419.38'



2 PROPOSED STREET CROSS-SECTION - LINDEN STREET EXPANSION
SCALE: NTS



3 PROPOSED STREET CROSS-SECTION - TIMBERS LANE
SCALE: NTS

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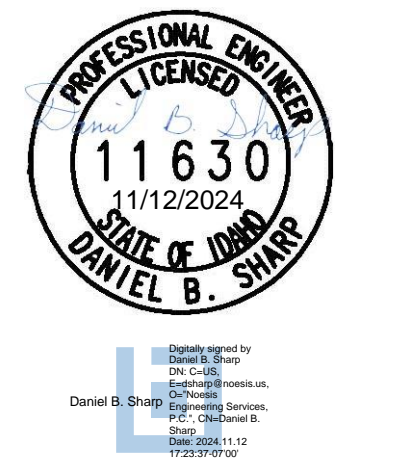
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Nov-24

GENERAL

- THE FOLLOWING STANDARD NOTES ARE THE CITY OF CALDWELL STANDARD NOTES AND SHALL BE INCORPORATED INTO THIS CONSTRUCTION DRAWING SET:
 - A PROOF TEST OF STORM WATER BASINS WILL BE REQUIRED PER CITY OF CALDWELL MUNICIPAL STORMWATER INFRASTRUCTURE DESIGN MANUAL - 2024 SECTION 4.6.4. CITY ENGINEERING DEPARTMENT SHALL BE NOTIFIED A MINIMUM OF 48 HRS PRIOR TO TESTING.
 - ALL PEDESTRIAN ACCESS ROUTES AND FACILITIES MUST FULLY COMPLY WITH ALL LOCAL, STATE, AND FEDERAL GUIDELINES/REQUIREMENTS
 - METER BOX LID (COVER) SHALL BE D&L 2242 WITH NEPTUNE R900 RECESS OPENING (ONE (1) 1-1/2" OPENING). THIS COVER WITH 1 OPENING IS FOR SINGLE WATER SERVICES 2-HL RECESSED COVER SHALL BE USED FOR DOUBLE SERVICES.
 - THE ENGINEER OF RECORD (DESIGN CIVIL ENGINEER) SHALL BE RESPONSIBLE FOR PROVIDING THE FOLLOWING: ENGINEERS CERTIFICATION (STAMPED & SIGNED)
 - CITY OF CALDWELL WILL NOT ACCEPT ASBUILT LINES CONSTRUCTED LESS THAN THE "10 STATE STANDARDS" DESIGN MINIMUM SLOPES
 - ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE 2015 EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS (ISPW/C), PROPOSED ACCESSIBILITY GUIDELINES FOR PEDESTRIAN FACILITIES IN THE PUBLIC RIGHT-OF-WAY, AND THE CITY OF CALDWELL SUPPLEMENTAL SPECIFICATIONS. WHERE DISCREPANCIES EXIST BETWEEN THESE SPECIFICATIONS THE MORE STRINGENT OF THE THREE SHALL BE USED.
 - ALL PRESSURE IRRIGATION CONSTRUCTION SHALL COMPLY WITH THE CALDWELL MUNICIPAL IRRIGATION DISTRICT (CMID-2023) SUPPLEMENTAL SPECIFICATIONS TO THE 2015 IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPW/C), SIXTH EDITION, JUNE 2023
 - JOINT TRENCH CONDUIT WITH PULL CORD, 32" BURIAL DEPTH (PER SL-1136)
 - NO ASPHALT SHALL BE PLACED WITHOUT ENGINEER AND DEVELOPER FIRST RECEIVING AND APPROVAL TO PAVE LETTER FROM THE CITY OF CALDWELL.
 - CONTRACTOR SHALL BLOW OFF EACH DOMESTIC WATER SERVICE WITH CITY INSPECTOR PRESENT PRIOR TO ACCEPTANCE OF THE WATER SYSTEM
 - CONTRACTOR SHALL BLOW OFF EACH PRESSURE IRRIGATION SERVICE WITH CITY INSPECTOR PRESENT PRIOR TO ACCEPTANCE OF THE IRRIGATION SYSTEM.
 - ALL EXISTING SEWER SERVICES BEING USED FOR THE CURRENT PHASE MUST BE EXPOSED AND SHOWN TO THE CITY INSPECTOR
 - VALVE CANS, WATER METERS & MANHOLE LIDS SHALL REMAIN OUTSIDE OF ALL CURBS, GUTTERS, VALLEY GUTTERS & SIDEWALKS
 - PRESSURE IRRIGATION MAINLINES SHALL HAVE 36" MINIMUM AND 48" MAXIMUM COVER UNDER ROADWAYS PER CMID SECTION 1103.01
 - PRESSURE IRRIGATION TRACER WIRE SHALL BE INSTALLED PER SECTION 1103.02
 - PRESSURE IRRIGATION FINDER TAPE SHALL BE INSTALLED PER SECTION 1103.03
 - EACH PRESSURE IRRIGATION SERVICE SHALL HAVE A "NON-POTABLE WATER" (AKA, "YUCK" TAG) PER SECTION 1103.08 (IF APPLICABLE)
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 EDITION OF IDAHO STANDARDS FOR THE PUBLIC WORKS CONSTRUCTION (I.S.P.W.C.), THE AMERICANS WITH DISABILITIES ACT, THE CITY OF CALDWELL SUPPLEMENTAL SPECIFICATIONS AND STANDARDS (TO BE DISCUSSED AT PRE-CONSTRUCTION MEETING) AND THE HIGHWAY STANDARDS AND DEVELOPMENT PROCEDURES FOR THE CITY OF CALDWELL. CONTRACTOR(S) SHALL HAVE A CURRENT PUBLIC WORKS LICENSE. WHERE A DISCREPANCY EXISTS BETWEEN THE I.S.P.W.C. AND THE CITY OF CALDWELL SUPPLEMENTAL SPECIFICATIONS AND STANDARDS, THE MOST STRINGENT OF THE TWO GUIDELINES SHALL BE USED FOR CONSTRUCTION BY THE CONTRACTOR.
- CONTRACTOR(S) SHALL RETAIN AND PROTECT ALL EXISTING FEATURES BOTH ABOVE AND BELOW GROUND, UNLESS OTHERWISE NOTED ON THE PLANS OR AS DIRECTED BY THE ENGINEER
- A PRE-CONSTRUCTION CONFERENCE WILL BE HELD A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO THE START OF WORK. ALL CONTRACTORS, SUBCONTRACTORS AND/OR UTILITY CONTRACTORS SHOULD BE PRESENT. ALL LOT DIMENSIONS, EASEMENTS AND CERTAIN OFF-SITE EASEMENTS ARE TO BE TAKEN FROM THE PLAT
- ALL CONSTRUCTION STAKES MUST BE REQUESTED A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO PLANNED USE.
- THE CONTRACTOR(S) SHALL CLEAR AND GRUB PROPOSED STREETS WHICH SHALL CONSIST OF CLEARING THE GROUND SURFACE OF ALL MATERIAL NOT SUITABLE FOR THE FUTURE USE ON SITE. SAID MATERIAL SHALL BE DISPOSED OF OFFSITE AT THE CONTRACTORS EXPENSE.
- SURVEYOR SHALL BE RETAINED AND SET CONTROL POINTS AND VERIFY EXISTING ELEVATION, PROPERTY LINES AND CENTERLINE OF ROADS, WHICH ARE CRITICAL TO THE CONSTRUCTION STAKING OF THE PROJECT. THESE POINTS WILL BE DESIGNATED AT THE TIME THEY ARE SET AND THE CONTRACTOR SO NOTIFIED. DESTRUCTION OF THESE POINTS BY THE CONTRACTOR OR HIS SUBCONTRACTORS SHALL BE GROUNDS FOR CHARGING THE CONTRACTOR THE COST OF RE-ESTABLISHING SAID POINTS.
- THE CONTRACTOR(S) SHALL MAINTAIN ALL EXISTING DRAINAGE FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL THE DRAINAGE IMPROVEMENTS ARE IN PLACE AND FUNCTIONING.
- ALL CONTRACTORS WORKING WITHIN THE PROJECT BOUNDARIES ARE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE SAFETY LAWS OF ANY JURISDICTIONAL BODY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES SAFETY DEVICES AND CONTROL OF TRAFFIC WITHIN AND AROUND THE CONSTRUCTION AREA.
- EXISTING ASPHALT CONCRETE PAVEMENT SHALL BE CUT TO A NEAT, STRAIGHT LINE PARALLEL OR PERPENDICULAR TO THE STREET CENTERLINE AND THE EXPOSED EDGE SHALL BE TACKED WITH EMULSION PRIOR TO PAVING, AND SHALL COMPLY WITH THE I.S.P.W.C. (2015) AND THE CITY OF CALDWELL SUPPLEMENTAL SPECIFICATIONS SECTION 307 C.
- ALL MATERIALS FURNISHED ON OR FOR THE PROJECT MUST MEET THE MINIMUM REQUIREMENTS OF THE APPROVING AGENCIES OR AS SET FORTH HEREIN, WHICHEVER IS MORE RESTRICTIVE.
- CONTRACTORS MUST FURNISH PROOF THAT ALL MATERIALS INSTALLED ON THIS PROJECT MEET THE ABOVE REQUIREMENTS AT THE REQUEST OF THE AGENCY AND/OR ENGINEER.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH OCCUR BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTACT DIG-LINE AT 1-800-342-1585.
- ALL COSTS OF RETESTING FOR PREVIOUSLY FAILED TESTS SHALL BE CHARGED TO THE CONTRACTOR BY THE OWNER.
- ALL COSTS TO THE CONTRACTOR INCURRED IN CORRECTING DEFICIENT WORK SHALL BE TO THE CONTRACTORS ACCOUNT. FAILURE TO CORRECT SUCH WORK WILL BE CAUSE FOR A STOP WORK ORDER AND POSSIBLE TERMINATION.
- WORK SUBJECT TO APPROVAL BY ANY POLITICAL SUBDIVISION AND/OR AGENCY MUST BE APPROVED PRIOR TO (A) PLACING OF CONCRETE, (B) PLACING OF AGGREGATE BASE, (C) PLACING OF ASPHALT PAVING, (D) BACKFILLING TRENCHES FOR PIPE, WORK DONE WITHOUT SUCH APPROVAL SHALL NOT RELIEVE THE CONTRACTOR FROM THEIR RESPONSIBILITY OF PERFORMING THE WORK IN AN ACCEPTABLE MANNER.
- ALL CONTRACTORS WORK WITHIN THE PUBLIC ROAD RIGHT-OF-WAY ARE REQUIRED TO SECURE A RIGHT-OF-WAY CONSTRUCTION PERMIT FROM THE CITY OF CALDWELL AND/OR APPLICABLE HIGHWAY DISTRICTS AT LEAST 24 HOURS PRIOR TO ANY CONSTRUCTION.
- CONTRACTOR TO PROVIDE GRADE RINGS AS REQUIRED TO SET SAND AND GREASE TRAP RIM ELEVATIONS TO FINISH GRADE.
- NO PIT RUN, BALLAST OR SUBBASE AGGREGATE SHALL BE PLACED ON ANY ROAD OR STREET UNTIL THE SUB-BASE HAVE BEEN APPROVED BY THE CITY OF CALDWELL AND/OR APPLICABLE HIGHWAY DISTRICT.
- SEWER AND WATER LINES MAY NOT BE PLACED IN SERVICE WITHOUT MEETING ALL CONDITIONS HEREIN SPECIFIED AND WITHOUT EXPRESS APPROVAL OF THE CITY ENGINEER.
- TRENCH BACKFILL SHALL CONFORMED TO THE CITY OF CALDWELL "RIGHT-OF-WAY TRENCH BACKFILL SPECIFICATION".
- THE CITY OF CALDWELL HAS THE OPTION TO INSPECT ALL CONSTRUCTION AT ANY TIME. THE CONTRACTOR SHALL NOTIFY THE CITY OF CALDWELL 24 HOURS PRIOR TO CONSTRUCTION.
- STREET SIGNS SHALL BE INSTALLED BY DEVELOPER TO CITY OF CALDWELL SPECIFICATION UPON COMPLETION OF PAVING. CALL (208) 455-3072 FOR FURTHER DETAILS.
- EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY NECESSARY NPDES PERMITS, FILING ANY NOI AND PREPARING A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN ACCORDANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY. CONTACT THE EPA AT 208-344-9489 FOR THE REQUIRED INFORMATION. SAID PERMIT SHALL BE PRESENTED TO THE OWNER/DEVELOPER AT LEAST 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- IDAHO POWER COMPANY SHALL PROVIDE STUB INTO LANDSCAPE COMMON LOTS. LOCATION AS DIRECTED BY OWNER. IDAHO POWER COMPANY JUNCTION BOX SHALL BE INSTALLED WITHIN THREE (3) FEET FROM THE CENTER OF LIGHT POLE BASE. CONDUIT INSTALLED BY THE DEVELOPER SHALL HAVE MINIMUM BURIAL DEPTH OF 32 INCHES AND SHOULD BE MARKED WITH BURIAL TYPE. ALL STREET LIGHTS AND APPURTENANCES SHALL MEET IDAHO POWER COMPANY STANDARDS.
- THE ENGINEER OF RECORD (DESIGN CIVIL ENGINEER) SHALL BE RESPONSIBLE PROVIDING THE FOLLOWING:
 - CONSTRUCTION OBSERVATIONS (INSPECTIONS) AT SUFFICIENT INTERVALS TO ENSURE THAT ALL CONSTRUCTION HAS BEEN COMPLETED IN ACCORDANCE WITH THE PLANS, I.S.P.W.C., AND CITY OF CALDWELL STANDARDS.
 - CONSTRUCTION OBSERVATION DIARY (INSPECTION LOG)
 - REPRODUCIBLE (M/LAR) RECORD DRAWINGS
 - ENGINEER STATEMENT (ENGINEERS STATEMENT)

ROADWAY

- ALL CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE ADOPTED ADDITION OF THE I.S.P.W.C. THE CITY OF CALDWELL AND CANYON HIGHWAY DISTRICT SPECIFICATIONS. NO EXCEPTIONS TO DISTRICT POLICY, STANDARDS AND THE I.S.P.W.C. WILL BE ALLOWED UNLESS SPECIFICALLY AND PREVIOUSLY APPROVED IN WRITING BY THE CITY OR THE CANYON HIGHWAY DISTRICT.
- ALL MANHOLES, VALVE BOXES SHALL BE CONSTRUCTED FLUSH WITH THE FINISHED GRADES AND SLOPES. PIPE CONTRACTOR SHALL PROVIDE ALL MANHOLE AND VALVE BOX MATERIAL AND STREET CONTRACTOR SHALL ADJUST MANHOLES AND VALVE BOXES TO FINISH GRADE AND CONSTRUCT COLLARS AND COORDINATE COLLAR CONSTRUCTION WITH THE CITY OF CALDWELL. CONCRETE COLLARS SHALL BE REQUIRED AROUND ALL MANHOLES AND VALVE BOXES UNLESS OTHERWISE SHOWN AND APPROVED BY THE APPROPRIATE ENTITY.
- ALL UNDERGROUND IMPROVEMENTS SHALL BE COMPLETED AND TESTED PRIOR TO CONCRETE CONSTRUCTION AND/OR FINISHING ROADWAY IMPROVEMENTS.
- OVER-EXCAVATION AND PLACEMENT OF ADDITIONAL GRANULAR BACKFILL MAY BE NECESSARY IN AREAS OF HIGH GROUNDWATER OR OTHER AREAS OF UNSUITABLE SUBBASE MATERIALS.
- ALL EXCESS MATERIAL SHALL BE PLACED AS DIRECTED BY THE OWNER.
- A STAMPED "S" SHALL BE PLACED IN CONCRETE SIDEWALK AT LOCATION OF SEWER SERVICES TO EACH LOT.

- WHEN DISCREPANCIES OCCUR BETWEEN PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER. UNTIMELY NOTIFICATION SHALL NEGATE ANY CONTRACTORS CLAIM FOR ADDITIONAL COMPENSATION.
- INSPECTION OF WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE BY THE CITY OF CALDWELL, GOVERNING JURISDICTION, OR APPLICABLE HIGHWAY DISTRICT.
- ALL COST OF RETESTING FOR PREVIOUSLY FAILED TESTS SHALL BE BACK CHARGED TO THE CONTRACTOR BY THE OWNER.
- ALL COSTS TO THE CONTRACTOR INCURRED IN CORRECTING DEFICIENT WORK SHALL BE TO THE CONTRACTORS ACCOUNT. FAILURE TO CORRECT SUCH WORK WILL BE CAUSE FOR A STOP WORK ORDER AND POSSIBLE TERMINATION.
- ALL WATER VALVES WILL BE PLACED SO AS NOT TO CONFLICT WITH ANY CONCRETE CURB, GUTTER, VALLEY GUTTER AND SIDEWALK IMPROVEMENTS.
- ALL PEDESTRIAN ACCESS ROUTES AND FACILITIES MUST FULLY COMPLY WITH ALL LOCAL, STATE, AND FEDERAL GUIDELINES.

WATER

- THE WATER SYSTEM SHALL BE CONSTRUCTED TO CONFORM WITH THE STANDARDS SET FORTH IN THE AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, "IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS" (I.R.P.D.W.S.) IDAHO STANDARDS FOR PUBLIC WORK CONSTRUCTION (I.S.P.W.C. 2015) AND THE CITY OF CALDWELL 2015 SUPPLEMENTAL SPECIFICATIONS AND STANDARDS (SEE NOTE NO. 21 UNDER "GENERAL")
- WATER DISTRIBUTION MAINS SHALL BE CONSTRUCTED WITH CLASS 200 PVC (POLYVINYL-CHLORIDE) PIPE, CONFORMING TO THE AWWA C-900. THE PIPE SHALL BE INSTALLED IN A WORKMANLIKE MANNER BY PERSONS PROPERLY QUALIFIED TO PERFORM SAID WORK AND SHALL BE IN CONFORMANCE WITH THE MANUFACTURERS RECOMMENDATIONS AS APPROVED BY THE CITY ENGINEER.
- ALL WATER MAINS SHALL HAVE A MINIMUM COVER OF 48 INCHES AND A MAXIMUM OF 60 INCHES. SERVICE LINE SHALL HAVE A MINIMUM COVER OF 42 INCH FROM THE FINAL FINISHED GRADE AFTER INSTALLATION OF THE WATER MAINS AND SERVICE LINES. THE TRENCHES SHALL BE COMPACTED TO 95% OF MAXIMUM STANDARD PROCTOR DENSITY TO PREVENT FURTHER SETTLEMENT. ALL MAINS SHALL BE PRESSURE/LEAK TESTED FLUSHED AND SANITIZED PER I.S.P.W.C. AND WATER NOTE NO 4. ALL TESTING SHALL BE APPROVED BY THE CITY OF CALDWELL BEFORE CONNECTING TO THE MUNICIPAL SYSTEM.
- ALL WATER MAINS SHALL BE DISINFECTED ACCORDING TO THE AWWA C-651 SPECIFICATION LATEST EDITION:
 - THE DISTRIBUTION SYSTEM SHALL BE PRESSURE TESTED AT 1 1/2 TIMES OPERATING PRESSURE OR A MINIMUM OF 150 PSI.
 - PRIOR TO USE OF THE WATER MAIN, IT SHALL BE DISINFECTED ACCORDING TO SPECIFICATIONS OF THE AWWA AND THEN FLUSHED. THE DISINFECT ION AND FINAL FLUSHING PROCEDURE SHALL BE TESTED TO DETERMINE IF THE APPROPRIATE MINIMUM CHLORINE RESIDUALS HAVE BEEN EXCEEDED. CITY PERSONNEL SHALL BE PRESENT AT THE TIME WATER SAMPLE IS OBTAINED.
- ALL GATE VALVES SHALL BE FLANGED (FG) AND/OR MECHANICAL JOINT (MJ) AND SHALL CONFORM TO AWWA C509 SPECIFICATIONS AND SHALL HAVE A 200 PSI WORKING PRESSURE RATING. ALL VALVES SHALL BE ANCHORED IN CONFORMANCE TO THE I.S.P.W.C.
- ALL TEES, PLUGS, CAPS AND BENDS AND AT OTHER LOCATIONS WHERE UNBALANCED FORCES EXIST SHALL BE SECURED AND ANCHORED BY SUITABLE THRUST BLOCKING PER THE ISPW STANDARD DRAWING SD-403. RETAINER GLANDS MAY BE USED IN LIEU OF THRUST BLOCKS.
- NO 12 DIRECT BURIAL WIRE SHALL BE PLACED ALONG THE NORTH AND EAST SIDE OF WATER MAINS AND SERVICE LINES. WIRE SHALL BE TAPED AT THE GATE VALVE LOCATIONS SO IT IS ACCESSIBLE FROM ABOVE BUT DOES NOT INTERFERE WITH VALVE OPERATION.
- WHERE IT IS NECESSARY FOR SANITARY SEWER AND WATER TO CROSS EACH OTHER, REFER TO NOTE NO. 13 UNDER SEWER NOTES.
- CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE CITY OF CALDWELL WATER DEPARTMENT THREE (3) WORKING DAYS BEFORE INITIAL CONSTRUCTION BEGINS AND SHALL ALSO NOTIFY CITY OF CALDWELL TWENTY-FOUR (24) HOURS IN ADVANCE OF BACKFILLING. THE CITY OF CALDWELL MAY INSPECT ALL WATER MAIN LINE CONSTRUCTION.
- CONTRACTOR TO FIELD VERIFY THAT ALL VALVE BOX LID ELEVATIONS MATCH FINAL GRADE AND ALL METER LID ELEVATIONS TO MATCH AN EXTENSION OF THE SIDEWALK GRADE. METERS SHALL BE INSTALLED BEHIND THE SIDEWALK PER CITY OF CALDWELL STANDARD DRAWING W-413.
- VALVES FLANGED (FLG) OR MECHANICAL JOINT (MJ) SHALL BE LOCATED IN THE STREET AND FIRE HYDRANTS LOCATED PER CITY OF CALDWELL STANDARD DRAWING W-404.
- THE CONTRACTOR SHALL PRESSURE TEST ALL WATER LINES AFTER DISINFECTION AND FLUSHING, BUT PRIOR TO INSTALLATION OF OTHER UTILITIES. AFTER ALL UTILITIES ARE INSTALLED AND PRIOR TO PAVING THE CONTRACTOR SHALL PERFORM A FINAL PRESSURE TEST WITH THE ENGINEER IN ATTENDANCE. THE CONTRACTOR SHALL FURNISH ALL PERSONNEL AND EQUIPMENT NECESSARY TO CONDUCT THE TEST PERIOD. CONTRACTOR SHALL NOTIFY CITY OF CALDWELL 24 HOURS IN ADVANCE TO WITNESS FINAL PRESSURE TEST.
- NO VERTICAL OBSTRUCTIONS OR LANDSCAPING SHALL BE INSTALLED WITHIN SIX (6) FEET OF FIRE HYDRANT EXCEPT LAWN, ROCK OR BARK.
- FINAL ACCEPTANCE OF ALL WATER UTILITY CONSTRUCTION WILL BE BY THE CITY OF CALDWELL.
- THE CITY OF CALDWELL WATER DEPARTMENT PERSONNEL SHALL BE PRESENT WHEN OPERATING EXISTING "IN SERVICE" WATER VALVES. THIS INCLUDES FLUSHING OF MAINS AND ALL PRESSURE AND WATER QUALITY TESTS.
- WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CALDWELL SPECIFICATIONS. CONCRETE COLLARS SHALL BE PROVIDED FOR ALL WATER VALVE BOXES IN ASPHALT. COLLARS SHALL BE PLACED IN ACCORDANCE WITH I.S.P.W.C. AND CITY OF CALDWELL STANDARD DRAWING W-406.
- CITY OF CALDWELL WATER DEPARTMENT SHALL MAKE ALL HOT TAPS ON EXISTING WATER MAINS.
- ALL WATER MAIN CONSTRUCTION MUST HAVE AT LEAST THREE (3) FEET OF HORIZONTAL SEPARATION AND 12" VERTICAL SEPARATION FROM OTHER UTILITIES (GAS, TELEPHONE, POWER ETC.)
- MASTER BOX LID (COVER) SHALL BE D&L 2242 WITH NEPTUNE R 900 RECESS OPENING (ONE (1) 1-1 1/2" OPENING); THIS IS FOR SINGLE SERVICE 2-HL RECESSED COVER SHALL BE USED FOR DOUBLE SERVICE.

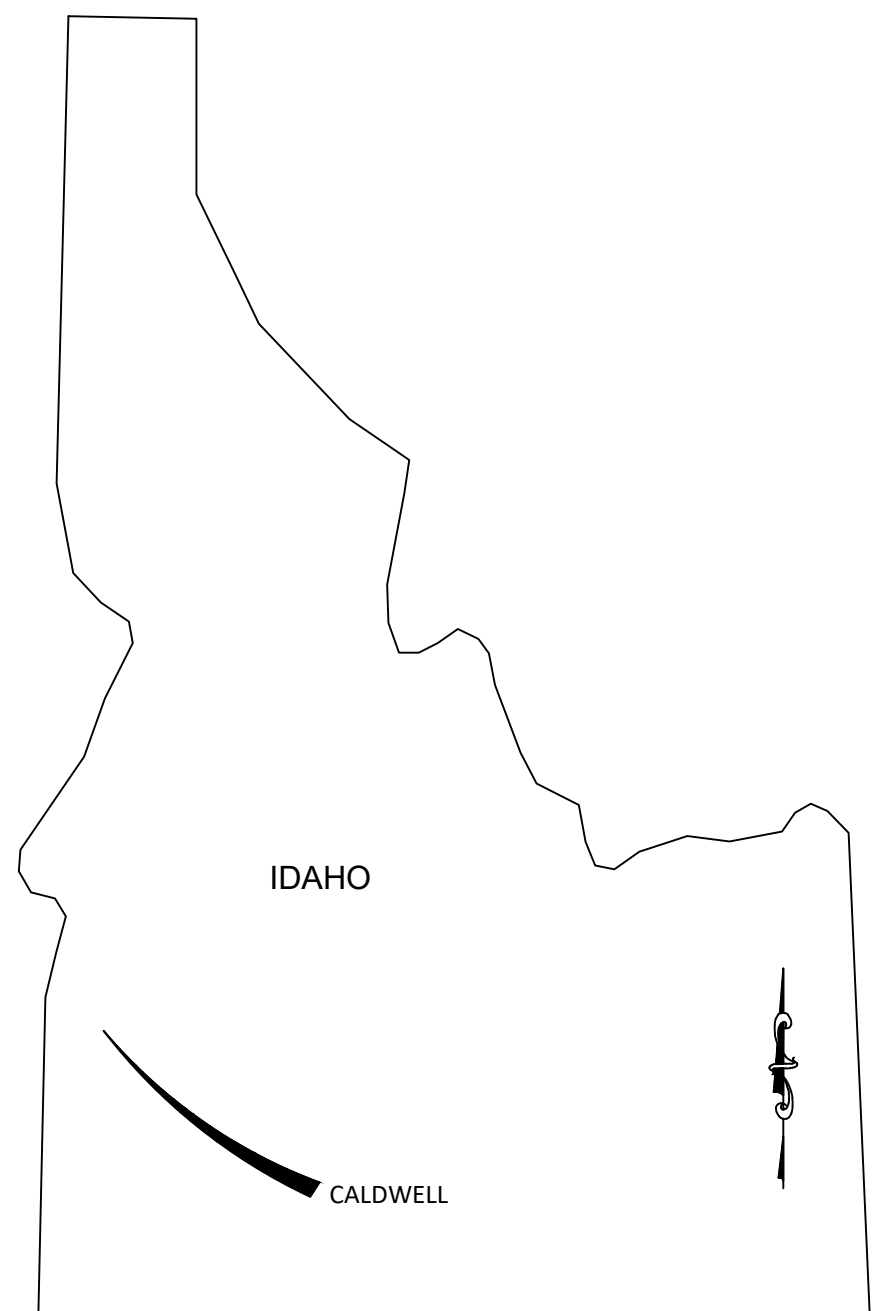
SEWER

- ALL SEWER WORK SHALL BE DONE IN ACCORDANCE WITH 2015 EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (I.S.P.W.C.) AND THE CITY OF CALDWELL 2015 SUPPLEMENTAL SPECIFICATIONS AND STANDARDS. (SEE NOTE NO. 21 UNDER "GENERAL").
- FINAL APPROVAL AND ACCEPTANCE OF ALL SEWER CONSTRUCTION SHALL BE ISSUED BY THE CITY OF CALDWELL.
- ALL MANHOLES SHALL BE IN ACCORDANCE WITH CITY OF CALDWELL 2015 SPECIFICATIONS.
- SEWER INSPECTIONS WILL BE PERFORMED BY THE CITY OF CALDWELL. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING THE WORK IN AN ACCEPTABLE MANNER. CONTACT CITY OF CALDWELL 48 HOURS PRIOR TO COMMENCEMENT OF SEWER INSTALLATION.
- STUB OUTS FOR SERVICE LINES SHALL BE MARKED IN ACCORDANCE WITH THE CITY OF CALDWELL STANDARDS DRAWING SS-501. THE SEWER SERVICE MARKER SHALL BE IN PLACE FOR THE FINAL INSPECTION. SERVICE LINES SHALL EXTEND TEN (10) FEET (MIN) BEYOND THE RIGHT-OF-WAY.
- PRIOR TO FINAL ACCEPTANCE AFTER ALL UTILITIES ARE IN AND PRIOR TO PAVING THE CONTRACTOR SHALL CONDUCT AN AIR TEST OF THE SEWER MAINS PER THE I.S.P.W.C. AND CITY OF CALDWELL 2015 SUPPLEMENTAL SPECIFICATIONS IN SECTION 500. THE CONTRACTOR SHALL CONTACT THE CITY OF CALDWELL A MINIMUM OF 24 HOURS PRIOR TO TESTING PERIOD THE CONTRACTOR SHALL FURNISH ALL EQUIPMENT AND PERSONNEL TO PERFORM THE TEST.
- ALL SEWER MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE I.S.P.W.C. AND CITY OF CALDWELL STANDARDS DRAWING SS-501. THE TOP OF CONE SHALL BE LOCATED WITHIN ONE (1) FOOT OF THE FINISHED GRADE. THE SEWER CONTRACTOR SHALL SUPPLY ALL LID ASSEMBLIES AND THE REQUIRED NUMBER OF RISERS AND GRADE RINGS. THE SEWER CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE TOP OF THE MANHOLE CONE TO ASSURE THAT ALL RING ELEVATIONS MATCHED FINAL STREET GRADES. MANHOLES SHALL HAVE 12 INCH MAXIMUM OF GRADE RINGS.
- WHERE CONCRETE COLLARS ARE USED THE PAVING CONTRACTOR SHALL SET THE GRADE RINGS AND POUR THE CONCRETE COLLARS PER CITY OF CALDWELL STANDARD DRAWINGS SS-501. THE PAVING CONTRACTOR SHALL CONTACT THE CITY OF CALDWELL AND ENGINEER OF RECORD 24 HOURS PRIOR TO POURING CONCRETE COLLARS. CONCRETE COLLARS ARE REQUIRED IN ALL PAVED AREAS.
- THE HORIZONTAL SEPARATION OF THE WATER AND SEWER MAINS SHALL BE A MINIMUM OF TEN (10) FEET.
- GROUNDWATER LEVELS SHALL BE MAINTAINED BELOW THE BOTTOM OF THE TRENCH DURING THE PIPE LAYING AND PIPE JOINING OPERATIONS AND WHILE MAKING SEWER TAPS. THE DEWATERING METHOD SHALL BE DISCUSSED WITH THE ENGINEER AND APPROVED PRIOR TO CONSTRUCTION. DITCHES AND STORM DRAIN FACILITIES THAT ARE SITED DUE TO THE CONTRACTORS DEWATERING, SHALL BE CLEANED AND RESTORED TO THEIR ORIGINAL STATE.
- THE TRENCH ABOVE THE PIPE ZONE WILL BE INSPECTED BY THE CITY OF CALDWELL IN ACCORDANCE WITH THE I.S.P.W.C. AND CITY OF CALDWELL 2015 SPECIFICATIONS.
- SEWER SERVICE LINES SHALL BE INSTALLED PRIOR TO STREET IMPROVEMENTS PER CITY OF CALDWELL STANDARD DRAWINGS SS-511A.
- WHERE IT IS NECESSARY FOR SANITARY SEWER AND POTABLE WATER TO CROSS EACH OTHER AND THE SEWER LINE IS LESS THAN 18" BELOW OR ABOVE THE WATER MAIN THE SEWER LINE CROSSING SHALL BE WATER CLASS PIPE, EACH WITH WATERTIGHT JOINTS OR EQUAL CONSTRUCTION, FOR A DISTANCE OF TEN (10) FEET ON BOTH SIDES OF THE POTABLE WATER LINE. ONE FULL LENGTH OF BOTH WATER MAIN AND SEWER LINE SHALL BE CENTERED OVER THE CROSSING POINT SO THAT ALL JOINTS WILL BE AS FAR FROM THE CROSSING AS POSSIBLE.
- TRENCH EXCAVATION AND TRENCH BACKFILL SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 300 TRENCHING OF THE I.S.P.W.C. AND CITY OF CALDWELL 2015 SPECIFICATIONS.
- AN ECCENTRIC CONE SHALL BE USED ON SANITARY SEWER MANHOLES GREATER THAN FOUR (4) FEET DEEP WITH THE VERTICAL WALL PLACED ON THE UPSTREAM SIDE AND ROTATED 45 DEGREES. MANHOLES LESS THAN FOUR (4) FEET DEEP SHALL HAVE CONCENTRIC CONES.
- ALL SEWER MANHOLE COVERS SHALL MARKED "SEWER" AND ALL STORM DRAIN MANHOLE COVERS SHALL BE MARKED "STORM DRAIN".
-

CIVIL ABBREVIATIONS

AND APPROXIMATE AT BENCH MARK CLEAR COMMUNICATION CONCRETE CONTROL POINT DEGREE DEMOLITION DIAMETER DUCTILE IRON EAST/EASTING DEMOLITION EAST/EASTING ELEVATION EXCAVATION EXISTING FEET/FOOT FLOW LINE INVERT ELEVATION IRRIGATION LINEAR FEET MANHOLE MAXIMUM	& APPROX @ BM CLR. COM CONC. CP- DEG OR ° DEMO DIA OR Ø D.I. E DEMO E EL OR ELEV EXC EXIST FT FL I.E OR IN IRR L.F. MH MAX.	MINIMUM NOT TO SCALE NORTH/NORTHING OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION ON CENTER POLYVINYL CHLORIDE PROPERTY LINE RIGHT SIDEWALK SOUTH SQUARE FEET STAINLESS STEEL STANDARD STANDARD SPECIFICATION STATION TOP BACK OF CURB TYPICAL WEST WITH MUNICIPAL CORPORATE LINE	MIN. NTS N NO. OR # O.S.H.A O.C. PVC FL RT S/W S S.F. SY S.S.A STD SPEC STA TBC TYP W W/ MCL
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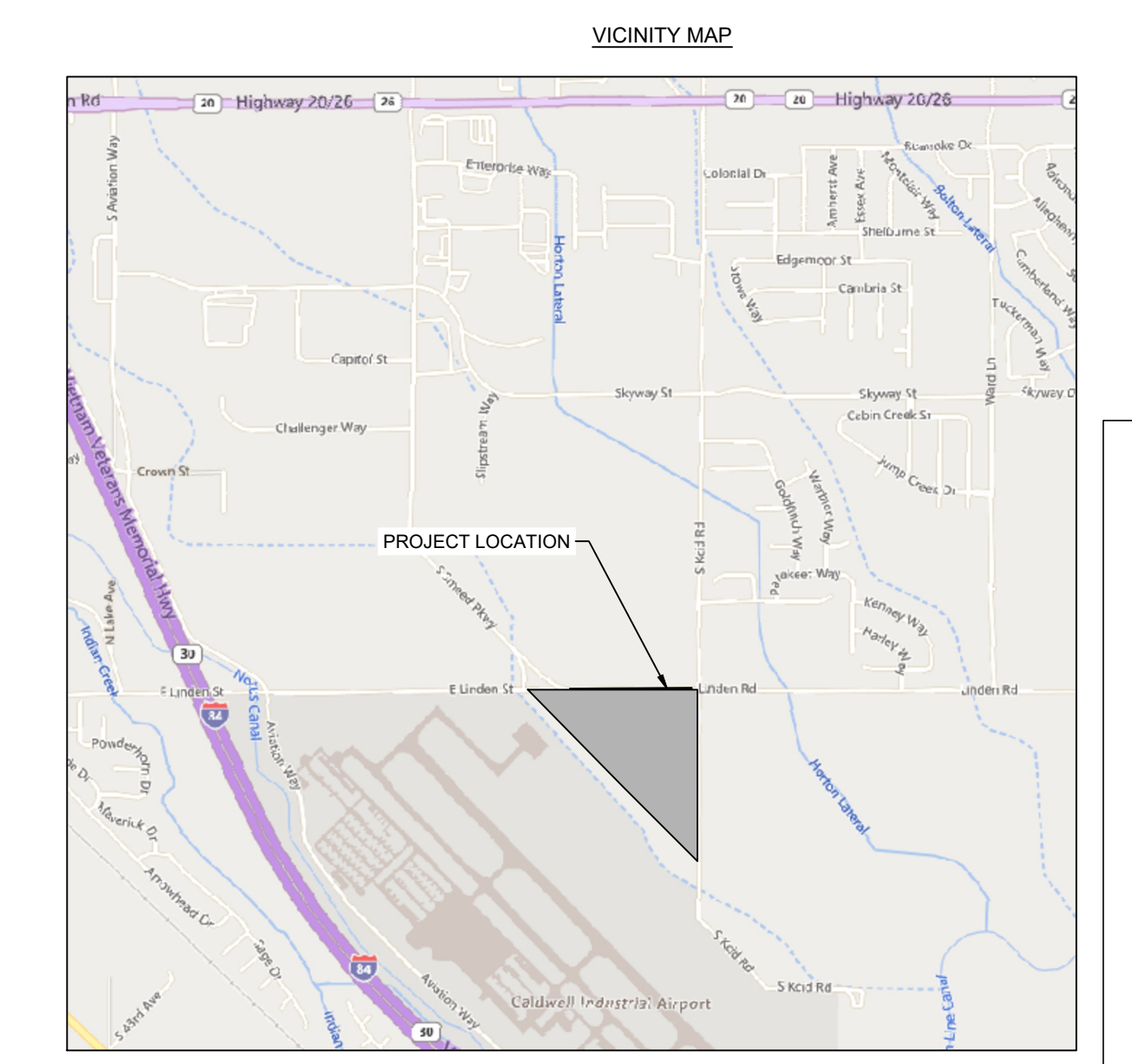
CLIENT	
MONTANA TIMBER PRODUCTS	
3605 BRAHMS WAY, MISSOULA, MONTANA 59802	
	
NOESIS ENGINEERING 1712 CABELLARO DR. AMMON, IDAHO 83406 (208) 932-2720 (PHONE)	
RDC	11/11/2024
DRAWN BY	DATE
ATC	11/11/2024
REVIEWED BY	DATE
DBS	11/11/2024
TECHNICAL APPROVAL	DATE



DRAINAGE NOTE
BEFORE COMMENCEMENT OF ANY WORK ON THIS SITE. EXCAVATION TO BOTTOM OF SEEPAGE BEDS SHALL OCCUR. CONTACT ATLAS TO VERIFY RECEIVING SOILS AND CONDUCT A PERCOLATION TEST. REPORT PERCOLATION TEST BACK TO NOESIS ENGINEERING.

IRRIGATION NOTE
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH CMID-2023 STANDARDS
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH PIONEER IRRIGATION DISTRICT STANDARDS PER THEIR POLICY MANUAL. CONTACT KIRK MEYERS 208-459-3617
3. PRESSURE IRRIGATION SYSTEM DESIGNED FOR 13.81 IRRIGABLE ACRES

DEVELOPER
JOHN GIULIANI
3605 ARTHUR STREET
CALDWELL, ID 83605
(406) 546-5579
JGIULIANI@MONTANATIMBERPRODUCTS.COM



SHEET INDEX

C-001	COVER SHEET
C-101	EXISTING CONDITIONS
C-102	PRELIMINARY PLAT
C-103	PROPOSED SITE PLAN
C-104	UTILITY PLAN
C-105	GRADING PLAN
C-401	TIMBERS LANE PLAN AND PROFILE
C-402	TIMBERS LANE PLAN AND PROFILE
C-403	LINDEN PLAN AND PROFILE
C-404	LINDEN PLAN AND PROFILE
C-405	LINDEN PLAN AND PROFILE
C-406	STORMWATER FACILITY 1 PLAN AND PROFILE
C-407	STORMWATER FACILITY 2 PLAN AND PROFILE
C-501	CIVIL DETAILS

City of Caldwell
APPROVED FOR CONSTRUCTION

These plans and/or specifications have been reviewed for compliance with the City of Caldwell specifications. This review does not relieve the owner, engineer, or contractor of the responsibility to design and/or construct these facilities in compliance with all current applicable federal, state AND local laws, rules, regulations, ordinances, orders of decisions, development agreements, or specifications. Inconsistencies not isolated by City staff shall not be construed as approved unless specifically addressed as a variance AND granted by City Council as a variance. The City retains the right to enforce provisions of said documents AND policies even if inconsistencies are not noted by the City. Any revisions of these approved plans will require a resubmittal for a full review AND approval.

Name _____

ALWAYS THINK SAFETY

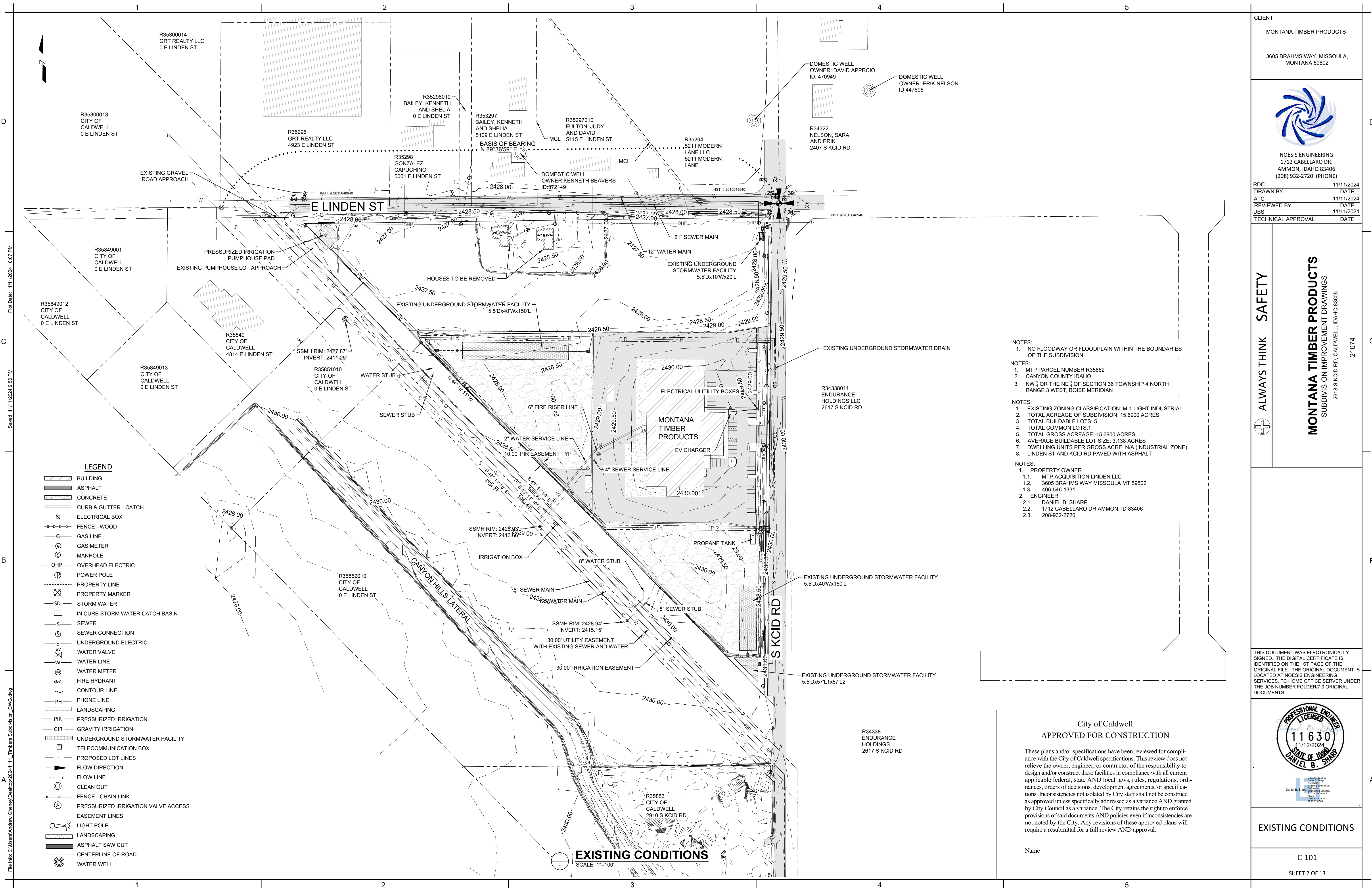
MONTANA TIMBER PRODUCTS
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COVER SHEET

C-001
SHEET 1 OF 13



- LEGEND**
- BUILDING
 - ASPHALT
 - CONCRETE
 - CURB & GUTTER - CATCH
 - ELECTRICAL BOX
 - FENCE - WOOD
 - GAS LINE
 - GAS METER
 - MANHOLE
 - OVERHEAD ELECTRIC
 - POWER POLE
 - PROPERTY LINE
 - PROPERTY MARKER
 - STORM WATER
 - IN CURB STORM WATER CATCH BASIN
 - SEWER
 - SEWER CONNECTION
 - UNDERGROUND ELECTRIC
 - WATER VALVE
 - WATER LINE
 - WATER METER
 - FIRE HYDRANT
 - CONTOUR LINE
 - PHONE LINE
 - LANDSCAPING
 - PRESSURIZED IRRIGATION
 - GRAVITY IRRIGATION
 - UNDERGROUND STORMWATER FACILITY
 - TELECOMMUNICATION BOX
 - PROPOSED LOT LINES
 - FLOW DIRECTION
 - FLOW LINE
 - CLEAN OUT
 - FENCE - CHAIN LINK
 - PRESSURIZED IRRIGATION VALVE ACCESS
 - EASEMENT LINES
 - LIGHT POLE
 - LANDSCAPING
 - ASPHALT SAW CUT
 - CENTERLINE OF ROAD
 - WATER WELL

- NOTES:**
- NO FLOODWAY OR FLOODPLAIN WITHIN THE BOUNDARIES OF THE SUBDIVISION
- NOTES:**
- MTP PARCEL NUMBER R35852
 - CANYON COUNTY IDAHO
 - NW 1/4 OR THE NE 1/4 OF SECTION 36 TOWNSHIP 4 NORTH RANGE 3 WEST, BOISE MERIDIAN
- NOTES:**
- EXISTING ZONING CLASSIFICATION: M-1 LIGHT INDUSTRIAL
 - TOTAL ACREAGE OF SUBDIVISION: 15.6900 ACRES
 - TOTAL BUILDABLE LOTS: 5
 - TOTAL COMMON LOTS: 1
 - TOTAL GROSS ACREAGE: 15.6900 ACRES
 - AVERAGE BUILDABLE LOT SIZE: 3.138 ACRES
 - DWELLING UNITS PER GROSS ACRE: N/A (INDUSTRIAL ZONE)
 - LINDEN ST AND KCID RD PAVED WITH ASPHALT
- NOTES:**
- PROPERTY OWNER
 - MTP ACQUISITION LINDEN LLC
 - 3605 BRAHMS WAY MISSOULA MT 59802
 - 406-546-1331
 - ENGINEER
 - DANIEL B. SHARP
 - 1712 CABELLARO DR AMMON, ID 83406
 - 208-932-2720

City of Caldwell
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3605 BRAHMS WAY, MISSOULA, MONTANA 59802

NOESIS ENGINEERING
1712 CABELLARO DR.
AMMON, IDAHO 83406
(208) 932-2720 (PHONE)

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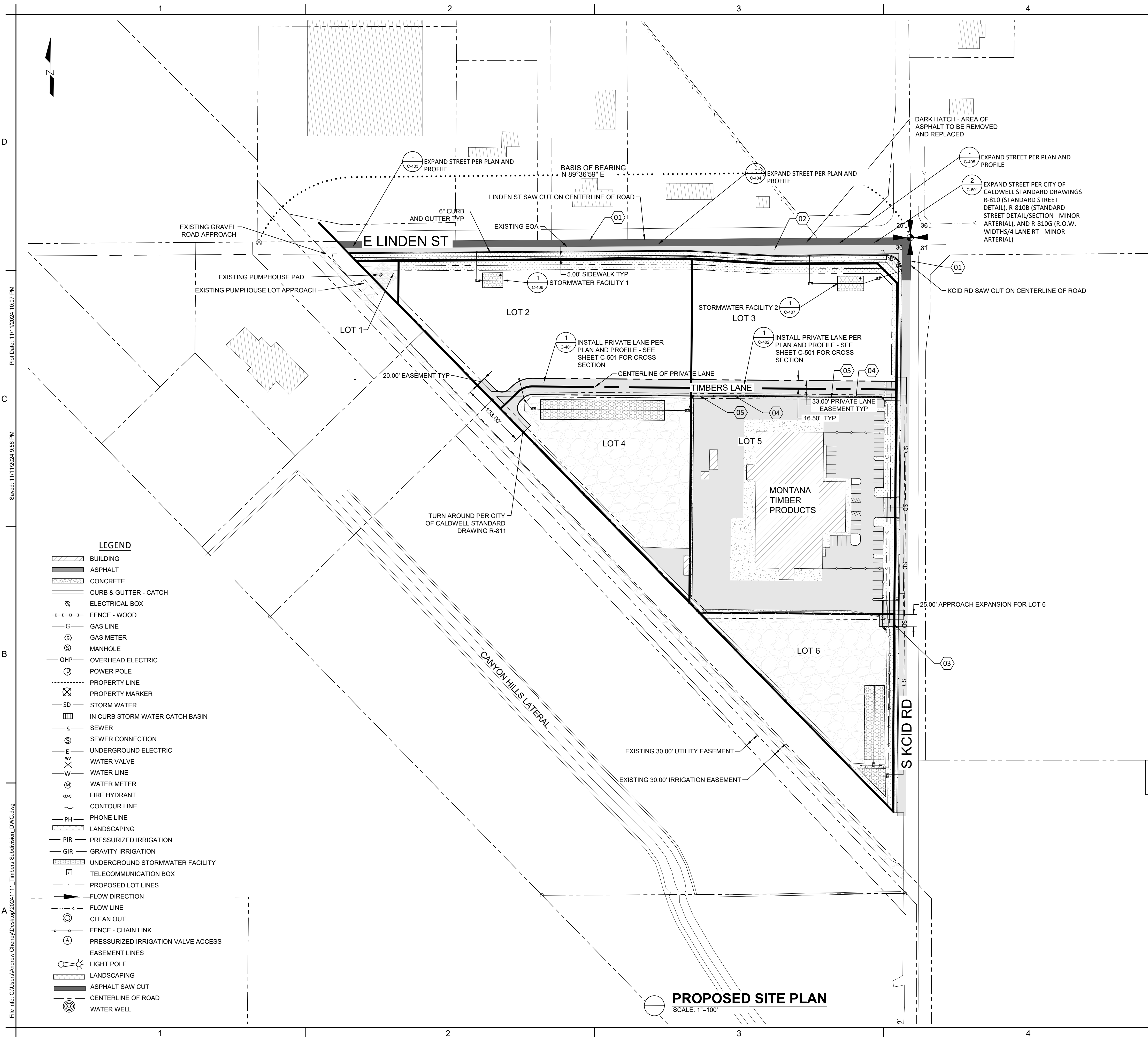
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Daniel B. Sharp
Professional Engineer
11630
11/12/2024
STATE OF IDAHO
DANIEL B. SHARP

Plot Date: 11/11/2024 10:07 PM
 Sheet: 11/11/2024 9:56 PM
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CLIENT
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NOESIS ENGINEERING
1712 CABELLARDO DR.
AMMON, IDAHO 83406
(208) 932-2720 (PHONE)

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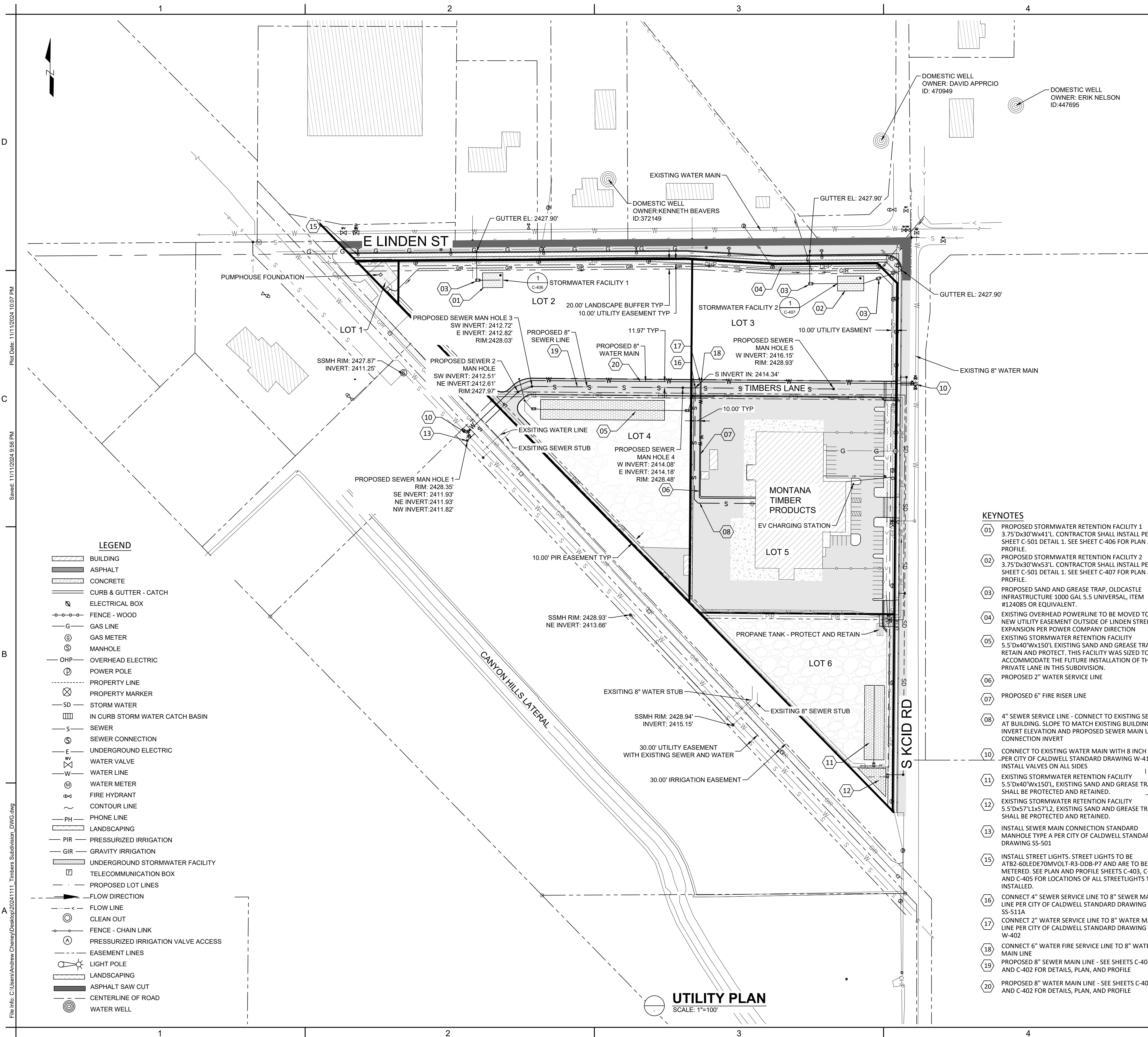
Name _____



PROPOSED SITE PLAN

C-102
SHEET 3 OF 13

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KEYNOTES

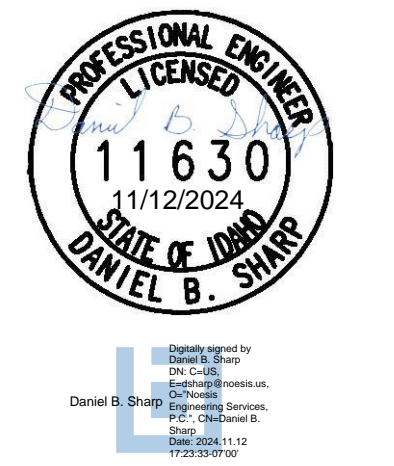
- 01 PROPOSED STORMWATER RETENTION FACILITY 1 3.75'Dx30'Wx41'L. CONTRACTOR SHALL INSTALL PER SHEET C-501 DETAIL 1. SEE SHEET C-406 FOR PLAN AND PROFILE.
- 02 PROPOSED STORMWATER RETENTION FACILITY 2 3.75'Dx30'Wx53'L. CONTRACTOR SHALL INSTALL PER SHEET C-501 DETAIL 1. SEE SHEET C-407 FOR PLAN AND PROFILE.
- 03 PROPOSED SAND AND GREASE TRAP, OLDCASTLE INFRASTRUCTURE 1000 GAL 5.5 UNIVERSAL, ITEM #124085 OR EQUIVALENT.
- 04 EXISTING OVERHEAD POWERLINE TO BE MOVED TO NEW UTILITY EASEMENT OUTSIDE OF LINDEN STREET EXPANSION PER POWER COMPANY DIRECTION
- 05 EXISTING STORMWATER RETENTION FACILITY 5.5'Dx40'Wx150'L EXISTING SAND AND GREASE TRAP - RETAIN AND PROTECT. THIS FACILITY WAS SIZED TO ACCOMMODATE THE FUTURE INSTALLATION OF THE PRIVATE LANE IN THIS SUBDIVISION.
- 06 PROPOSED 2" WATER SERVICE LINE
- 07 PROPOSED 6" FIRE RISER LINE
- 08 4" SEWER SERVICE LINE - CONNECT TO EXISTING SEWER AT BUILDING. SLOPE TO MATCH EXISTING BUILDING INVERT ELEVATION AND PROPOSED SEWER MAIN LINE CONNECTION INVERT
- 10 CONNECT TO EXISTING WATER MAIN WITH 8 INCH TEE PER CITY OF CALDWELL STANDARD DRAWING W-412. INSTALL VALVES ON ALL SIDES
- 11 EXISTING STORMWATER RETENTION FACILITY 5.5'Dx40'Wx150'L, EXISTING SAND AND GREASE TRAP SHALL BE PROTECTED AND RETAINED.
- 12 EXISTING STORMWATER RETENTION FACILITY 5.5'Dx57'Lx57'L2, EXISTING SAND AND GREASE TRAP SHALL BE PROTECTED AND RETAINED.
- 13 INSTALL SEWER MAIN CONNECTION STANDARD MANHOLE TYPE A PER CITY OF CALDWELL STANDARD DRAWING SS-501
- 15 INSTALL STREET LIGHTS. STREET LIGHTS TO BE ATB2-60LEDE70MVOLT-R3-DDB-P7 AND ARE TO BE METERED. SEE PLAN AND PROFILE SHEETS C-403, C-404, AND C-405 FOR LOCATIONS OF ALL STREETLIGHTS TO BE INSTALLED.
- 16 CONNECT 4" SEWER SERVICE LINE TO 8" SEWER MAIN LINE PER CITY OF CALDWELL STANDARD DRAWING SS-511A
- 17 CONNECT 2" WATER SERVICE LINE TO 8" WATER MAIN LINE PER CITY OF CALDWELL STANDARD DRAWING W-402
- 18 CONNECT 6" WATER FIRE SERVICE LINE TO 8" WATER MAIN LINE
- 19 PROPOSED 8" SEWER MAIN LINE - SEE SHEETS C-401 AND C-402 FOR DETAILS, PLAN, AND PROFILE
- 20 PROPOSED 8" WATER MAIN LINE - SEE SHEETS C-401 AND C-402 FOR DETAILS, PLAN, AND PROFILE

City of Caldwell
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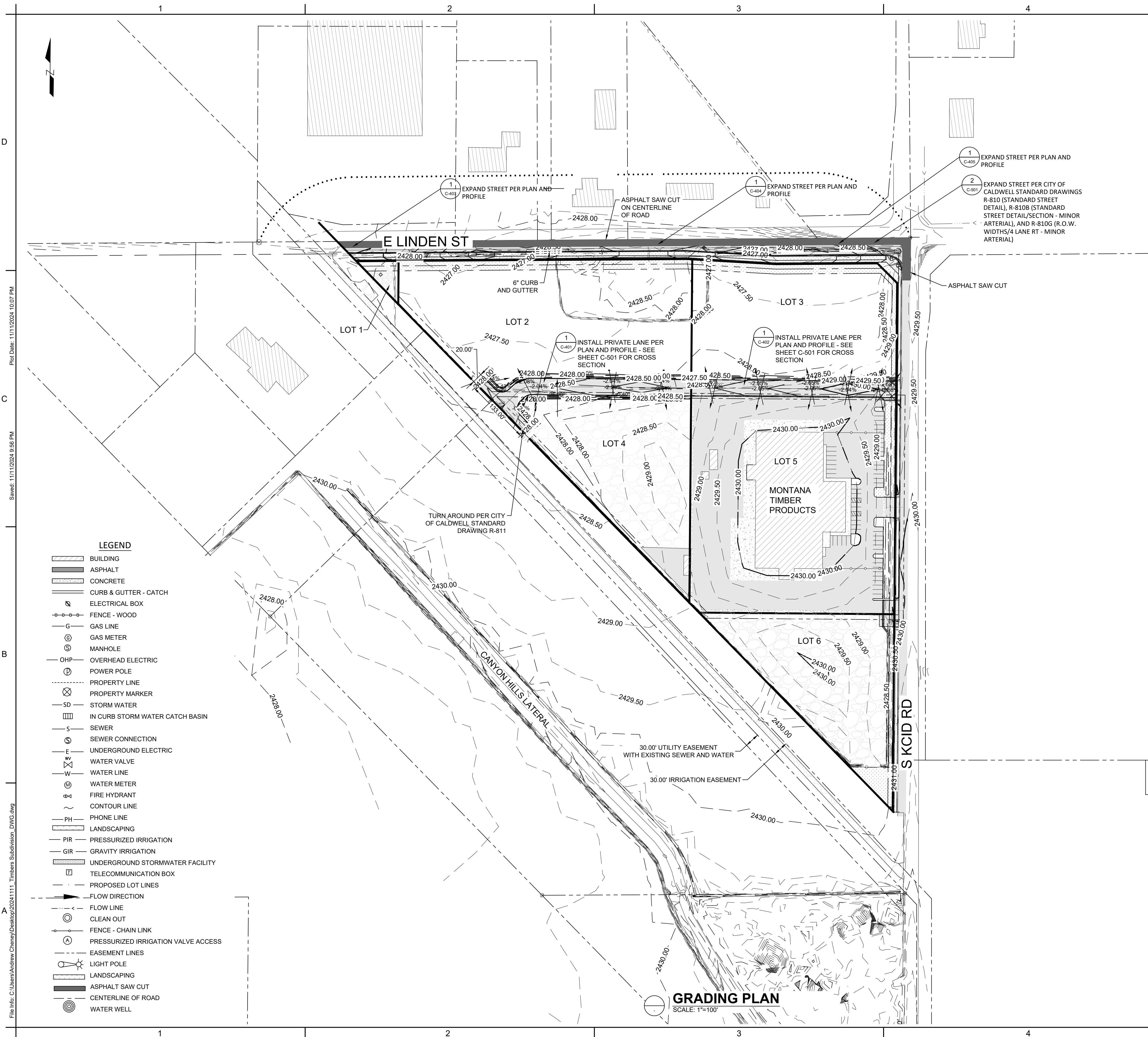
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UTILITY PLAN
C-103
SHEET 4 OF 13


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VICINITY MAP
SCALE: 1"=500'


NOTES:
1. SEE PLAN AND PROFILE SHEETS C-401, C-402, C-403, C-404, C-405, C-406 AND C-407 FOR ENLARGED GRADING PLANS

CLIENT
MONTANA TIMBER PRODUCTS
3605 BRAHMS WAY, MISSOULA,
MONTANA 59802


NOESIS ENGINEERING
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(208) 932-2720 (PHONE)

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PROFESSIONAL ENGINEER
LICENSED
11630
11/12/2024
STATE OF IDAHO
DANIEL B. SWARTZ

City of Caldwell
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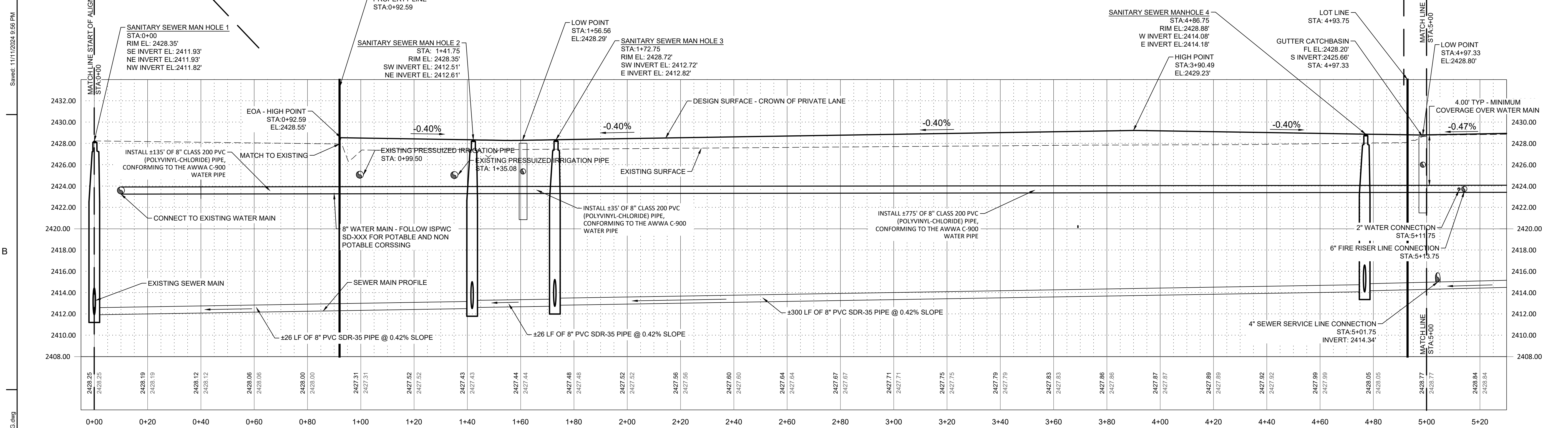
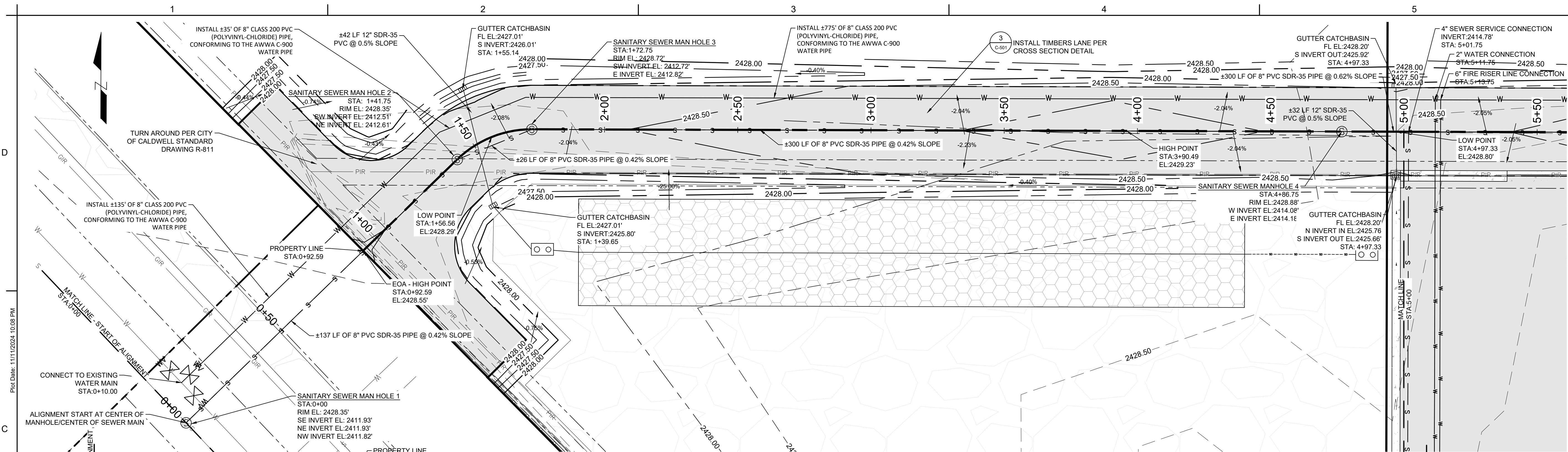
Name _____

GRADING PLAN

C-104
SHEET 5 OF 13

LEGEND

- BUILDING
- ASPHALT
- CONCRETE
- CURB & GUTTER - CATCH
- ELECTRICAL BOX
- FENCE - WOOD
- GAS LINE
- GAS METER
- MANHOLE
- OHP OVERHEAD ELECTRIC
- POWER POLE
- PROPERTY LINE
- PROPERTY MARKER
- SD STORM WATER
- IN CURB STORM WATER CATCH BASIN
- SEWER
- SEWER CONNECTION
- UNDERGROUND ELECTRIC
- WATER VALVE
- WATER LINE
- WATER METER
- FIRE HYDRANT
- CONTOUR LINE
- PHONE LINE
- LANDSCAPING
- PIR PRESSURIZED IRRIGATION
- GIR GRAVITY IRRIGATION
- UNDERGROUND STORMWATER FACILITY
- TELECOMMUNICATION BOX
- PROPOSED LOT LINES
- FLOW DIRECTION
- FLOW LINE
- CLEAN OUT
- FENCE - CHAIN LINK
- PRESSURIZED IRRIGATION VALVE ACCESS
- EASEMENT LINES
- LIGHT POLE
- LANDSCAPING
- ASPHALT SAW CUT
- CENTERLINE OF ROAD
- WATER WELL



- NOTES:**
1. INSTALL ALL SANITARY SEWER MANHOLES PER CITY OF CALDWELL STANDARD DRAWING S5-501 - TYPE A MANHOLES
 2. MAINTAIN ALL POTABLE AND NON-POTABLE WATER LINE SEPARATIONS PER ISPPWC SD-407

TIMBERS LANE PLAN AND PROFILE 1

PROFILE HORIZONTAL SCALE: 1"=20'
 PROFILE VERTICAL SCALE: 1"=5'
 PLAN SCALE: 1"=20'

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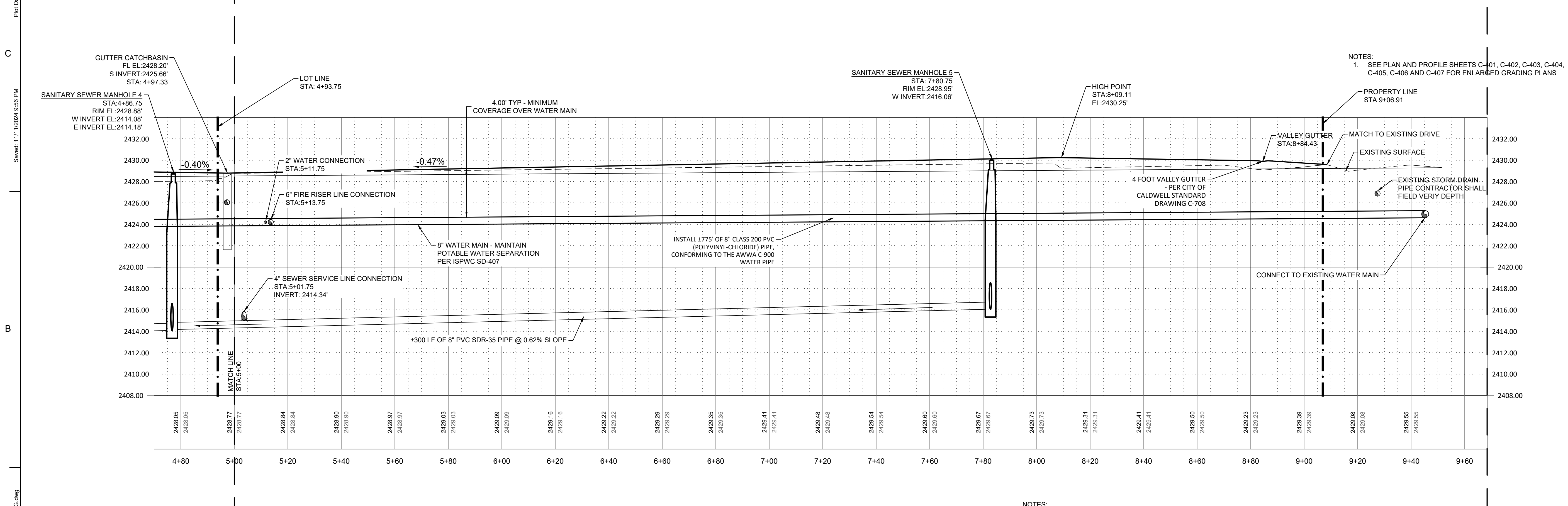
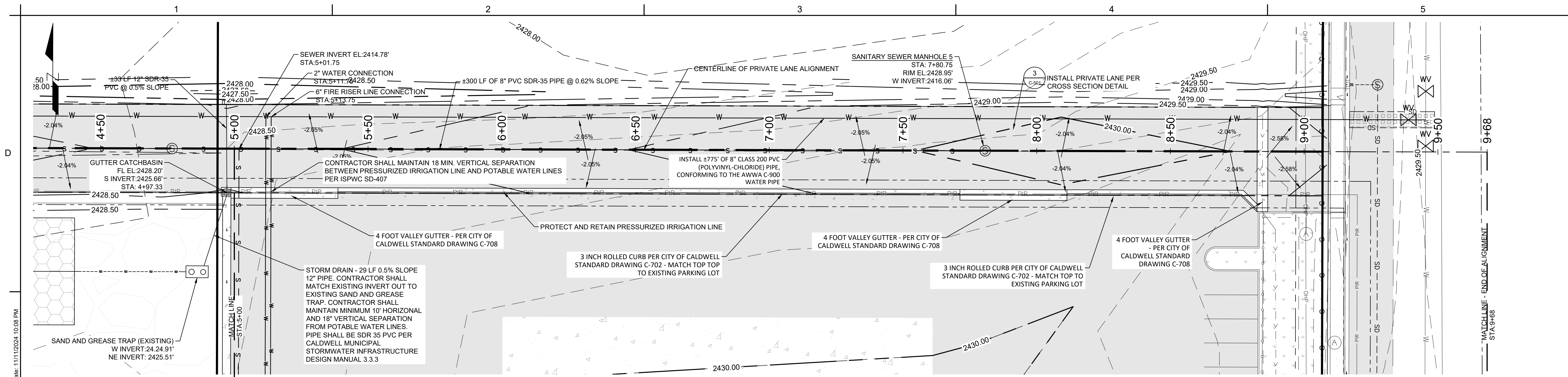
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PROFESSIONAL ENGINEER
 LICENSED
 11630
 11/12/2024
 STATE OF IDAHO
 DANIEL B. SWIRE



- NOTES:**
- INSTALL ALL SANITARY SEWER MANHOLES PER CITY OF CALDWELL STANDARD DRAWING SS-501 - TYPE A MANHOLES
 - MAINTAIN ALL POTABLE AND NON-POTABLE WATER LINE SEPARATIONS PER ISWPC SD-407

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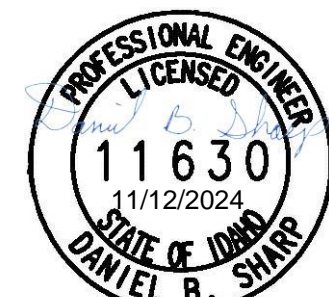
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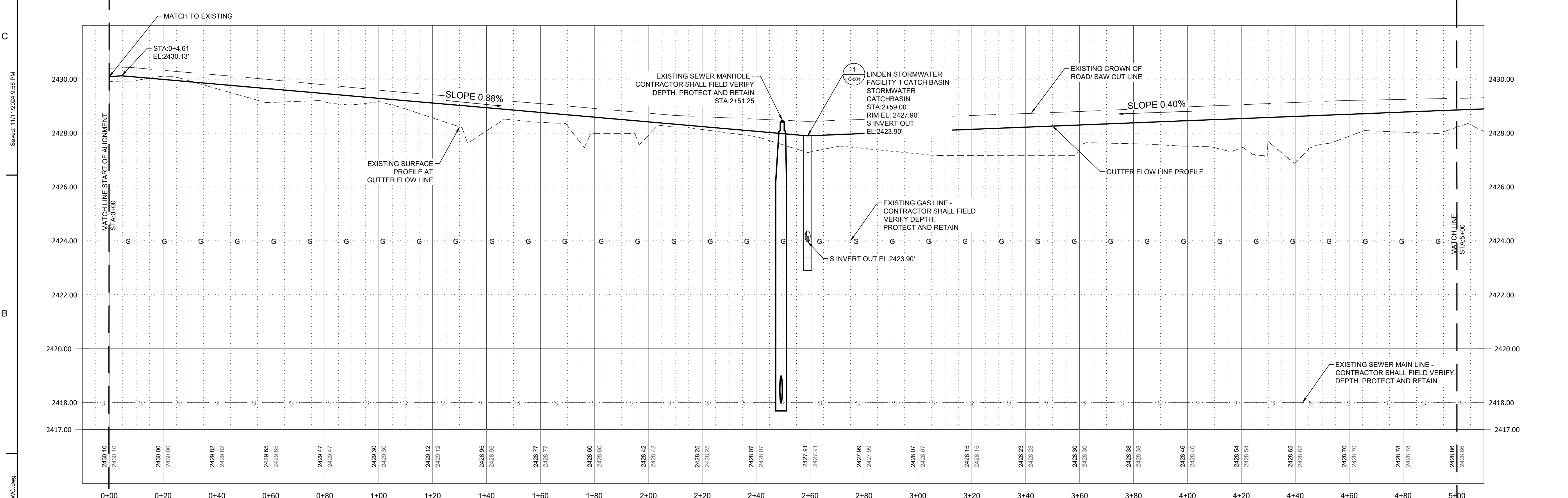
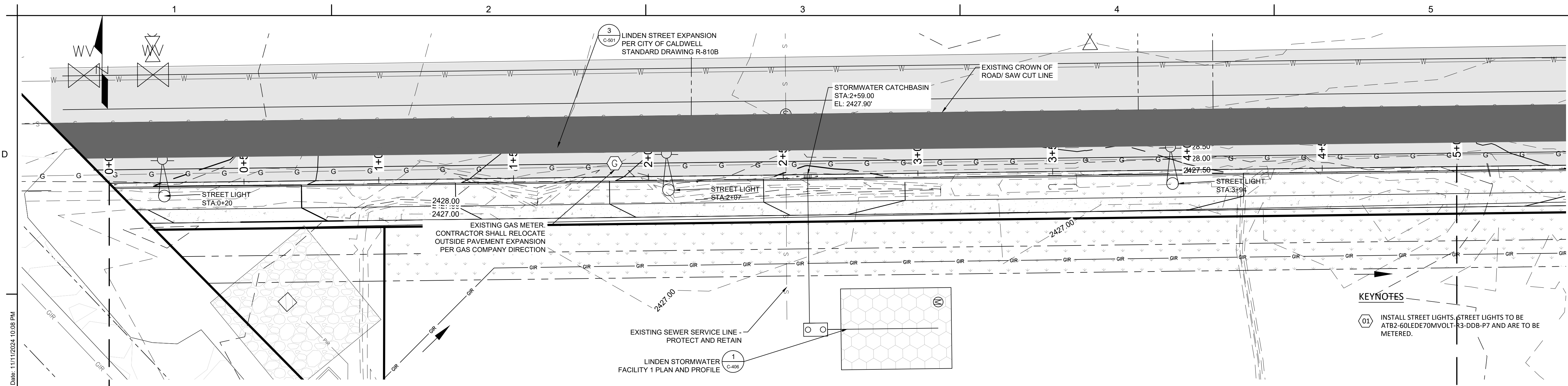
TIMBERS LANE PLAN AND PROFILE

C-402
SHEET 7 OF 13

TIMBERS LANE PLAN AND PROFILE

PROFILE HORIZONTAL SCALE: 1"=20'
PROFILE VERTICAL SCALE: 1"=5'
PLAN SCALE: 1"=20'

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KEYNOTES

01 INSTALL STREET LIGHTS. STREET LIGHTS TO BE AT B2-60LEDE70MVOLT-R3-DD8-P7 AND ARE TO BE METERED.

NOTES:
1. MAINTAIN ALL POTABLE AND NON-POTABLE WATER LINE SEPARATIONS PER ISPWC SD-407

LINDEN PLAN AND PROFILE
PROFILE HORIZONTAL SCALE: 1"=20'
PROFILE VERTICAL SCALE: 1"=2'
PLAN SCALE: 1"=20'

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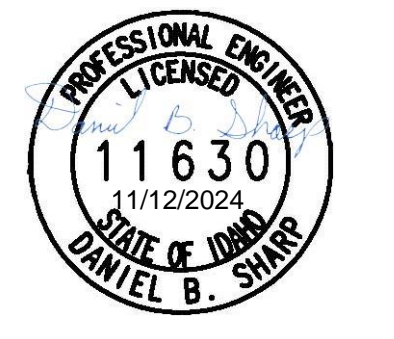


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(208) 932-2720 (PHONE)
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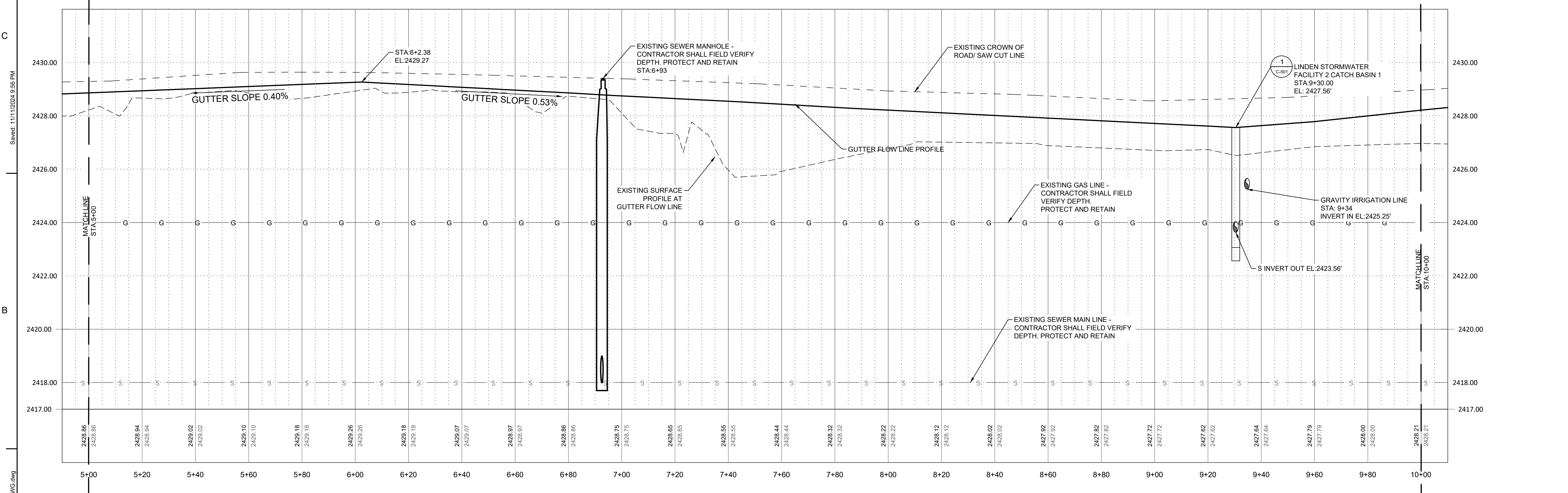
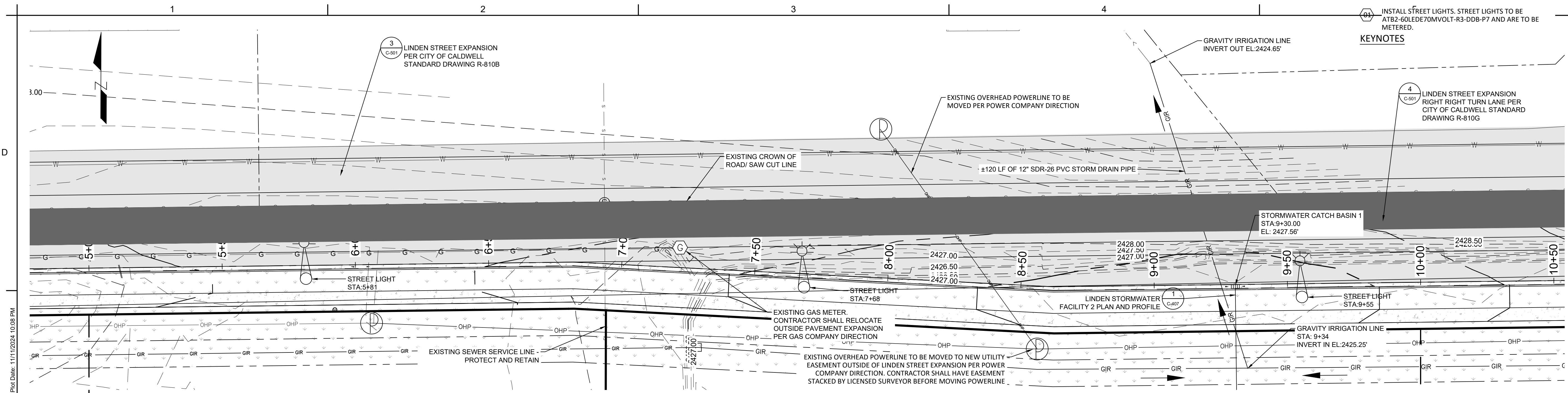
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LINDEN PLAN AND PROFILE

C-403
SHEET 8 OF 13



NOTES:
 1. MAINTAIN ALL POTABLE AND NON-POTABLE WATER LINE SEPARATIONS PER ISPMC SD-407

LINDEN PLAN AND PROFILE
 PROFILE HORIZONTAL SCALE: 1"=20'
 PROFILE VERTICAL SCALE: 1"=2'
 PLAN SCALE: 1"=20'

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Name _____

PROFESSIONAL ENGINEER
 LICENSED
 11630
 11/12/2024
 STATE OF IDAHO
 DANIEL B. SWARR

LINDEN PLAN AND PROFILE
 C-404
 SHEET 9 OF 13

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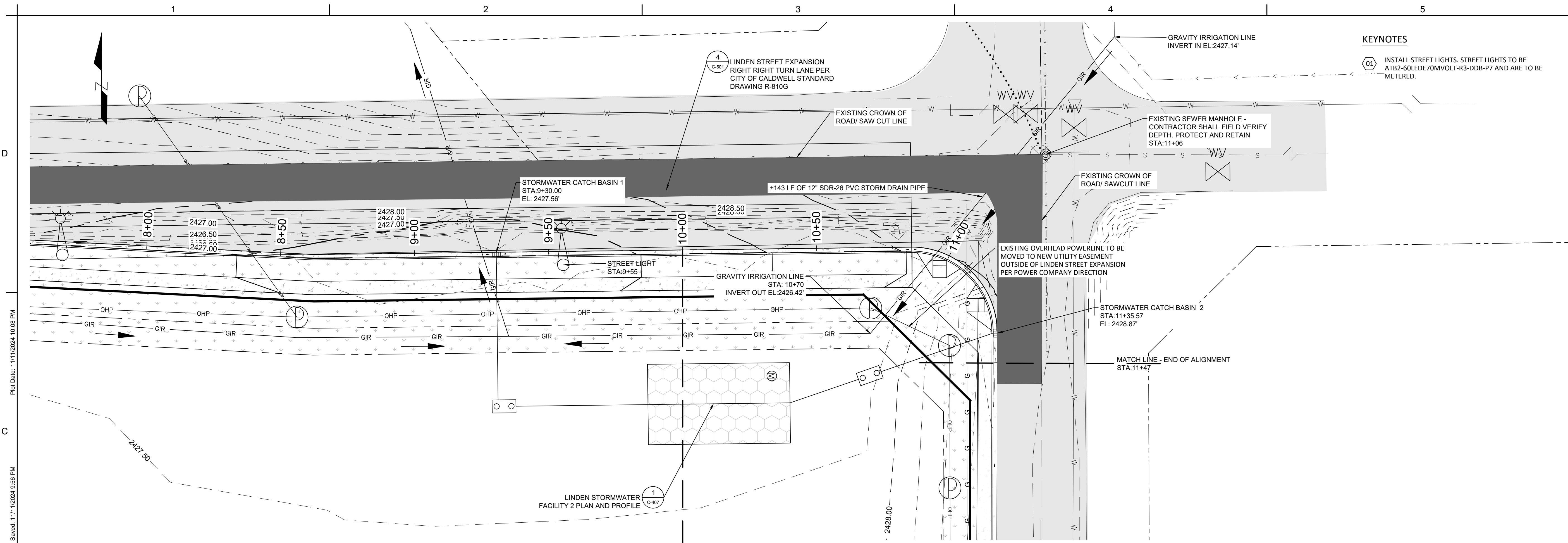
NOESIS ENGINEERING
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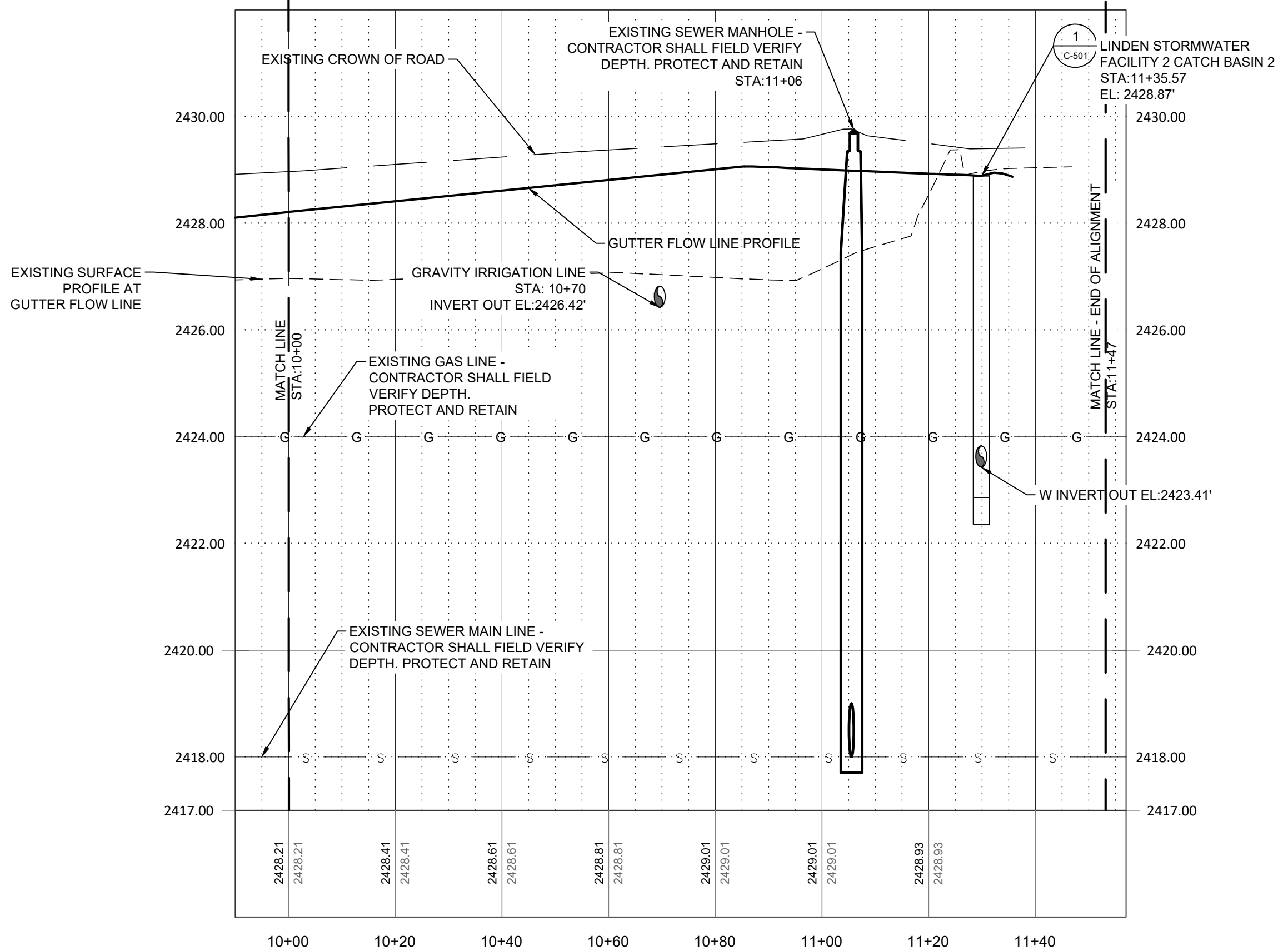
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LINDEN PLAN AND PROFILE

PROFILE HORIZONTAL SCALE: 1"=20'
 PROFILE VERTICAL SCALE: 1"=2'
 PLAN SCALE: 1"=20'

NOTES:

1. MAINTAIN ALL POTABLE AND NON-POTABLE WATER LINE SEPARATIONS PER IS/PWC SD-407

City of Caldwell
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 MONTANA TIMBER PRODUCTS
 3605 BRAHMS WAY, MISSOULA, MONTANA 59802



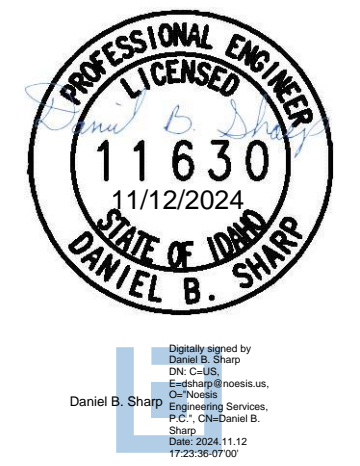
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 (208) 932-2720 (PHONE)

RDC DATE 11/11/2024
 DRAWN BY ATC DATE 11/11/2024
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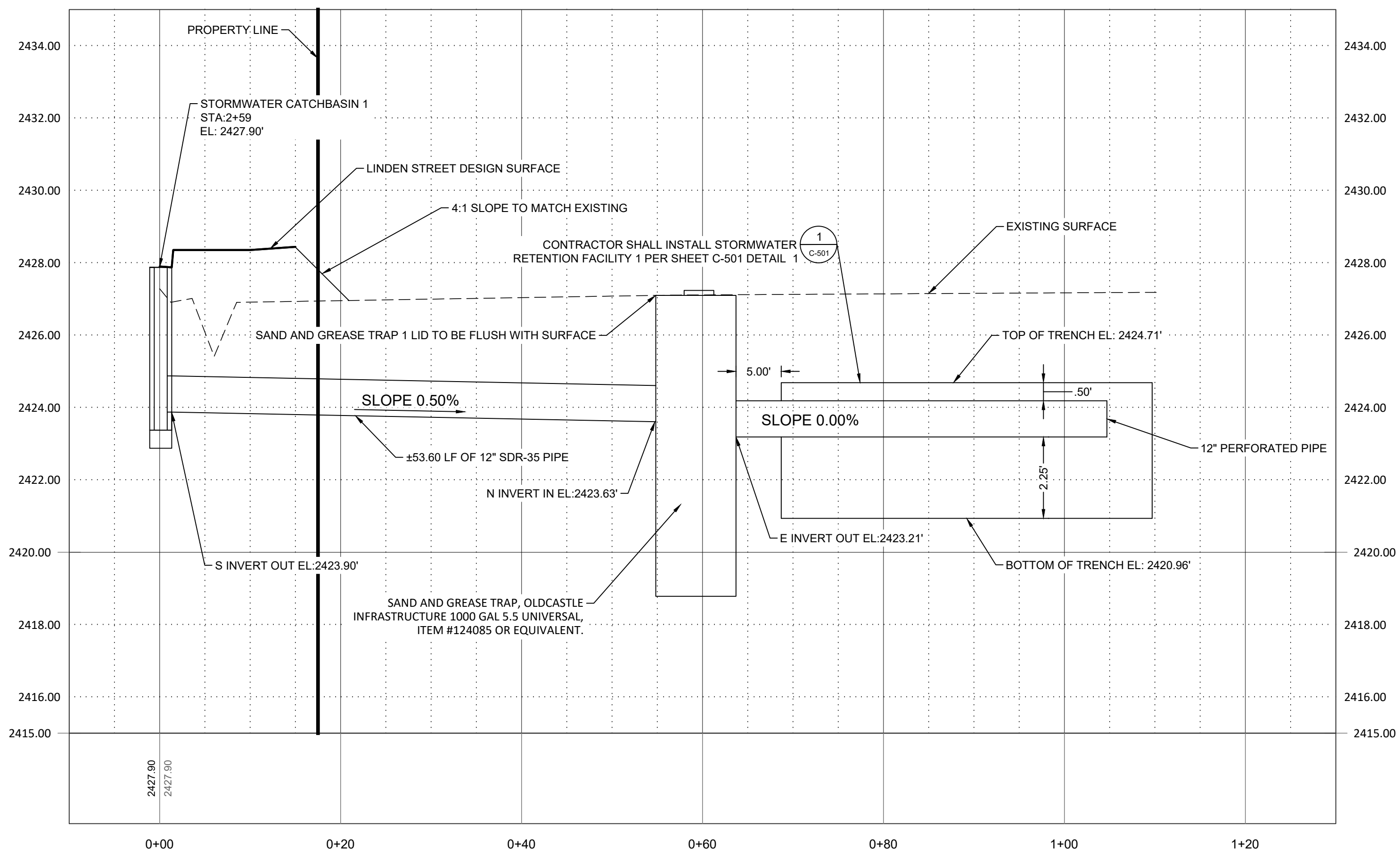
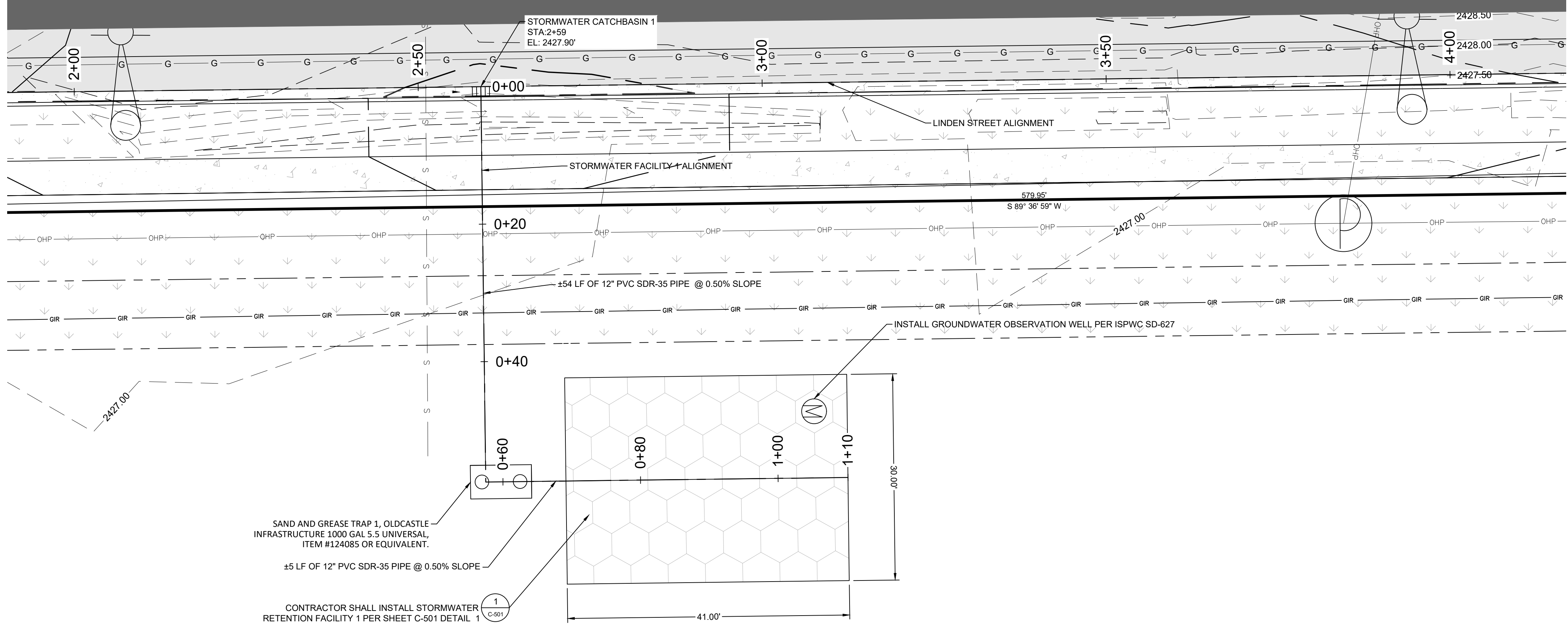
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LINDEN PLAN AND PROFILE

C-405
 SHEET 10 OF 13



LINDEN STORMWATER FACILITY 1
PROFILE HORIZONTAL SCALE: 1"=10'

PROFILE VERTICAL SCALE: 1"=2.5'
PLAN SCALE: 1"=20'

NOTES:
1. MAINTAIN ALL POTABLE AND NON-POTABLE WATER LINE SEPARATIONS PER ISPWG SD-407

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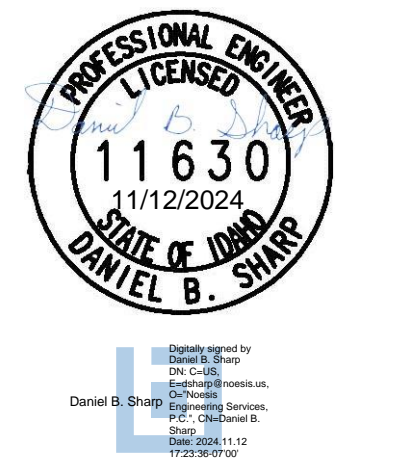
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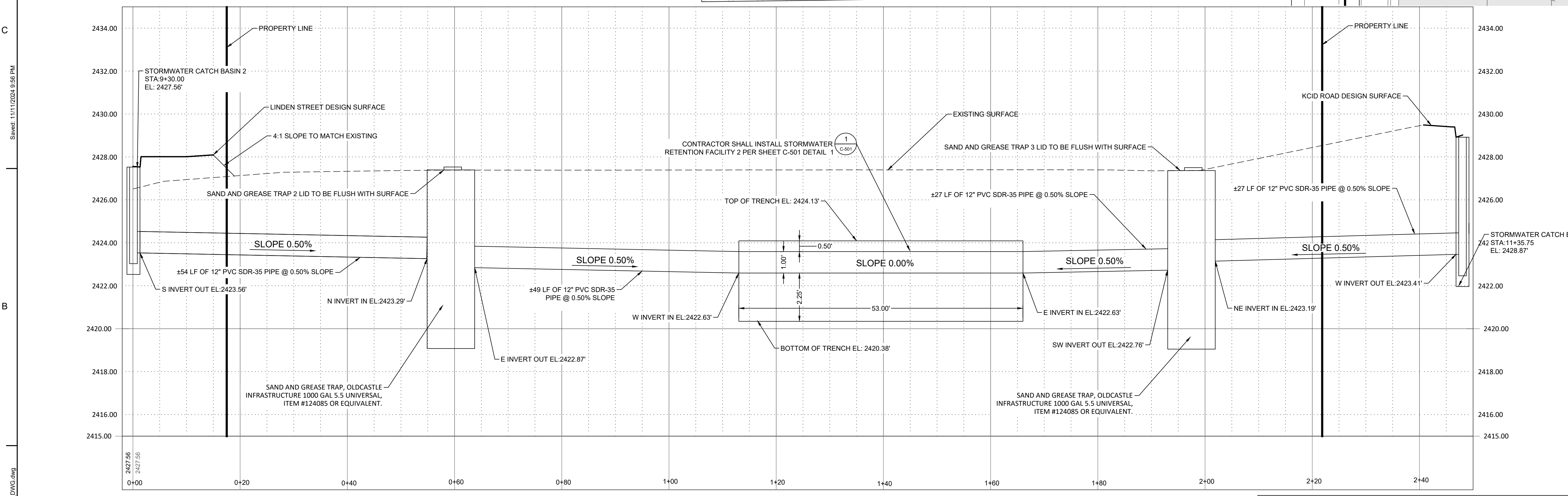
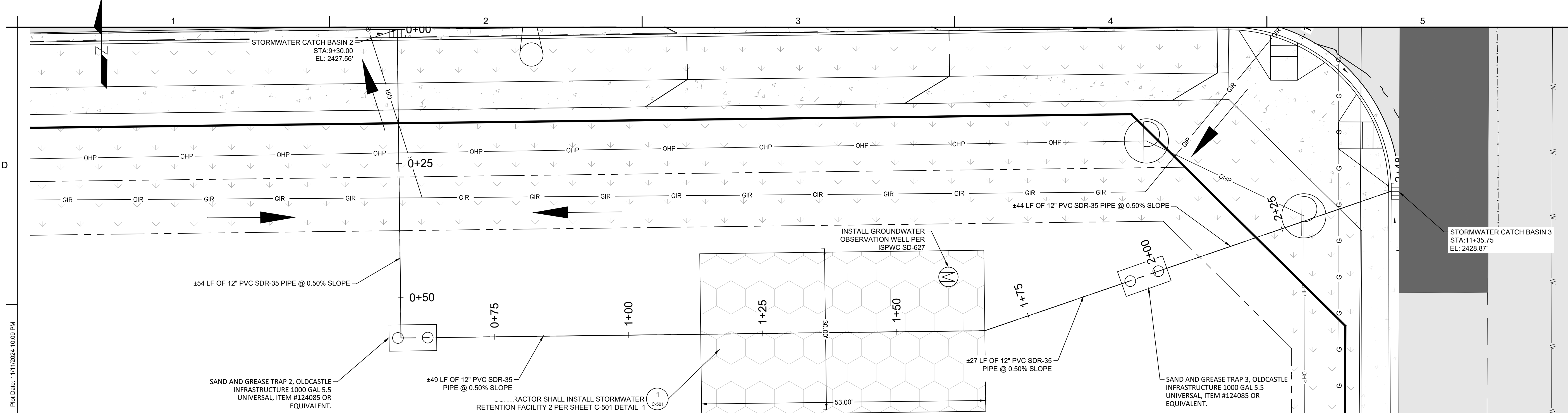
STORMWATER FACILITY 1
PLAN AND PROFILE

C-406
SHEET 11 OF 13

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NOTES:
 1. MAINTAIN ALL POTABLE AND NON-POTABLE WATER LINE SEPARATIONS PER ISPWC SD-407

LINDEN STORMWATER FACILITY 2
 PROFILE HORIZONTAL SCALE: 1"=20'
 PROFILE VERTICAL SCALE: 1"=2.5'
 PLAN SCALE: 1"=20'

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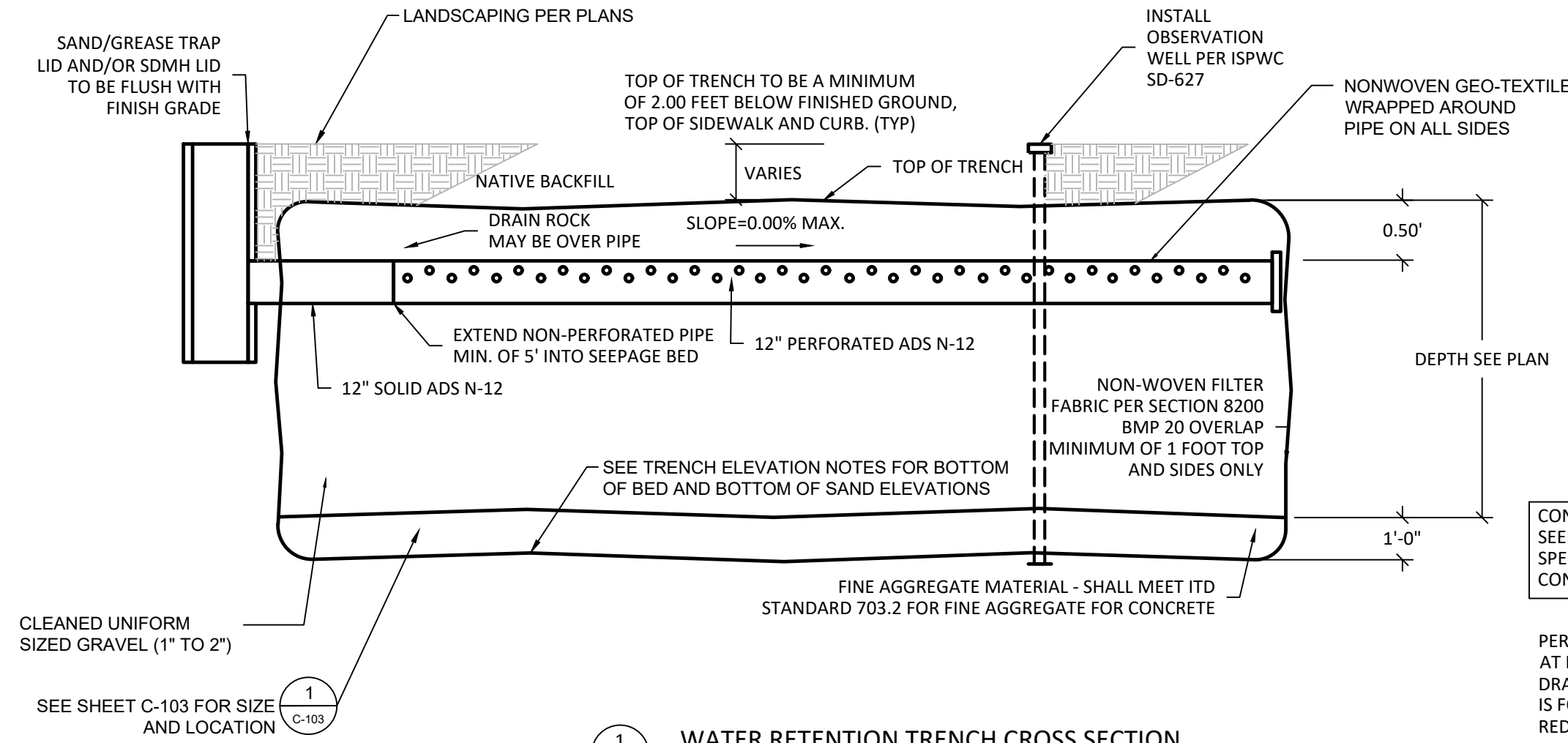
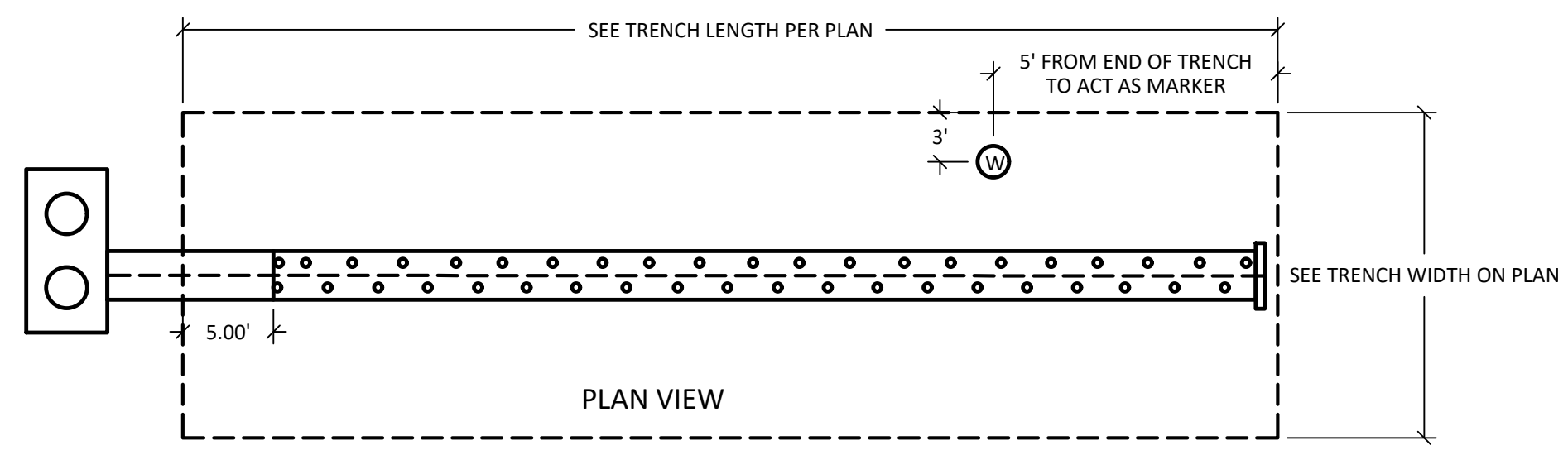
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1 WATER RETENTION TRENCH CROSS SECTION

- NOTES:
- SETBACKS AND HORIZONTAL SEPARATION DISTANCES
 - 100' FROM EXISTING DOMESTIC WATER WELLS
 - 50' FROM PERENNIAL AND IRRIGATION SURFACE WATER
 - 25' FROM POTABLE WATER MAIN
 - 25' FROM BASEMENTS
 - 10' FROM HOME FOUNDATIONS WITHOUT BASEMENTS
 - 10' HORIZONTAL AND 1.5' VERTICAL SEPARATION FROM POTABLE WATER MAINS
 - BOTTOM OF INFILTRATION FACILITY SHALL HAVE 18" OF VERTICALLY SEPARATION FROM BEDROCK LAYER, OR IMPERVIOUS SOIL LAYERS, UNLESS SUCH LAYERS ARE REMOVED AND FILLED WITH SUITABLE DRAIN MATERIAL.
 - 24" OF FINE AGGREGATE MATERIAL SHALL BE INSTALLED BELOW INFILTRATION FACILITY IF WITHIN 3' OF HIGH WATER TABLE
 - 4 OZ MIN. NON-WOVEN GEOTEXTILE FABRIC SHALL BE INSTALLED BETWEEN THE SOIL AND ROCK. NO FILTER FABRIC SHOULD BE PLACED BETWEEN STORAGE MEDIA AND SAND FILTER. NO FILTER FABRIC SHOULD BE PLACED AT BOTTOM OF INFILTRATION FACILITY
 - ROCK SHALL BE CONSOLIDATED WITH A VIBRATORY PLATE COMPACTOR AT 12" LIFTS
 - NO IMPERMEABLE LINER TO ALLOW RUNOFF TO INFILTRATE THE SURROUNDING SOIL
 - OBSERVATION WELL SHALL BE INSTALLED ON THE CENTER OF THE RETENTION FACILITY WITH A MAX SPACING OF 50 FT.
 - THE LAST MANHOLE/CATCH BASIN BEFORE ALL CATCH BASINS SHALL BE CLEANED AT THE END OF CONSTRUCTION BY CONTRACTOR. OWNER SHALL MONITORED AND CLEAN AS NEEDED AFTER CONSTRUCTION.
 - PERCOLATION FACILITY SHALL COMPLY WITH CALDWELL MUNICIPAL STORMWATER INFRASTRUCTURE DESIGN MANUAL - MARCH 2024

CONTRACTOR TO HAVE PERCOLATION TESTS PERFORMED BY SOILS ENGINEER AFTER SEEPAGE TRENCHES ARE FULLY EXCAVATED. IF THE PERCOLATION IS LESS THAN SPECIFIED BY THE SOILS REPORT AND ENGINEER, CONTRACTOR WILL NEED TO CONTACT ENGINEER OF RECORD IMMEDIATELY FOR REDESIGN.

PER THE SOIL REPORT COMPLETED BY ATLAS GROUNDWATER WAS ENCOUNTERED AT DEPTHS RANGING FROM 11.2 TO 12.5. CONTRACTOR TO EXCAVATE 3-FT BELOW DRAIN ROCK TO ENSURE THERE IS NO GROUND WATER PRESENT. IF GROUND WATER IS FOUND, CONTRACTOR TO CONTACT ENGINEER OF RECORD IMMEDIATELY FOR REDESIGN.

ALL SEEPAGE BED ON THIS LOT HAS DESIGN PERCOLATION RATE OF 2.16" PER HOUR (1.512 IN/HR WITH 70% REDUCTION) BASED ON ATLAS SOIL REPORT. PERCOLATION RATES SHALL BE VERIFIED IN THE FIELD BY SOILS ENGINEER.

CONTRACTOR TO COORDINATE PERCOLATION TEST WITH GEOTECHNICAL ENGINEER FOR EACH FOR EACH SEEPAGE TRENCH LOCATION PRIOR TO PLACEMENT OF ANY MATERIAL.

SEE PLANS FOR LOCATIONS OF MONITORING WELLS, THIS DETAIL ONLY SHOWS THEM FOR REFERENCE AND DISTANCE FROM TRENCH. MONITORING WELL MAY BE LOCATED ON EITHER END OF SEEPAGE TRENCH.

STORMWATER RETENTION FACILITY 1:

- GRAVEL BED PERCOLATION FACILITY
- RETENTION OF 100 YEAR STORM EVENT
- VOID SPACE %: 40%
- ROCK BED WIDTH: 30 FT
- ROCK BED LENGTH: 41 FT
- ROCK BED HEIGHT: 3.75 FT
- SAND WINDOW AREA - 1230 SQ FT
- MAX WATER LEVEL AREA - 1230 SQ FT
- TOTAL VOLUME OF FACILITY - 4612.5 FT³
- WATER RETENTION CAPACITY - 1845 FT³
- DESIGN INFILTRATION RATE - 1.512 IN/HR

STORMWATER RETENTION FACILITY 2:

- GRAVEL BED PERCOLATION FACILITY
- RETENTION OF 100 YEAR STORM EVENT
- VOID SPACE %: 40%
- ROCK BED WIDTH: 30 FT
- ROCK BED LENGTH: 53 FT
- ROCK BED HEIGHT: 3.75 FT
- SAND WINDOW AREA - 1590 SQ FT
- MAX WATER LEVEL AREA - 1590 SQ FT
- TOTAL VOLUME OF FACILITY - 5962.5 FT³
- WATER RETENTION CAPACITY - 2385 FT³
- DESIGN INFILTRATION RATE - 1.512 IN/HR

CATCH BASIN 1 ELEVATIONS

- GUTTER FLOW LINE - 2427.90'
- SOUTH INVERT OUT - 2423.90'

CATCH BASIN 2 ELEVATIONS

- GUTTER FLOW LINE - 2427.56'
- SOUTH INVERT OUT - 2423.56'

SAND AND GREASE TRAP 1 ELEVATIONS

- NORTH INVERT IN - 2423.63'
- EAST INVERT OUT - 2423.21'

SAND AND GREASE TRAP 2 ELEVATIONS

- NORTH INVERT IN - 2423.29'
- EAST INVERT OUT - 2422.87'

GRAVEL TRENCH 1 ELEVATION

- TOP OF TRENCH - 2424.71'
- WEST INVERT IN - 2423.21'
- BOTTOM OF TRENCH - 2420.96'
- TOP OF SAND FILTER - 2420.96'
- BOTTOM OF SAND FILTER - 2419.96'

CATCH BASIN 3 ELEVATIONS

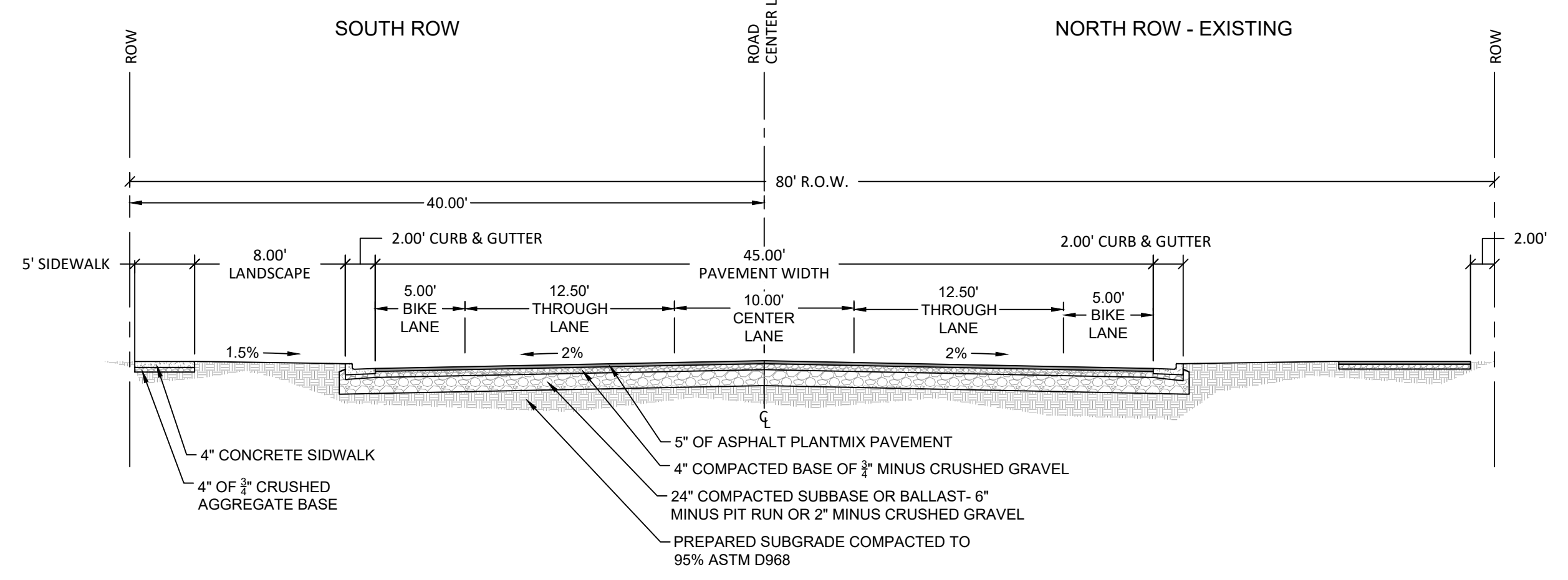
- GUTTER FLOW LINE - 2428.87'
- SOUTH INVERT OUT - 2423.41'

SAND AND GREASE TRAP 3 ELEVATIONS

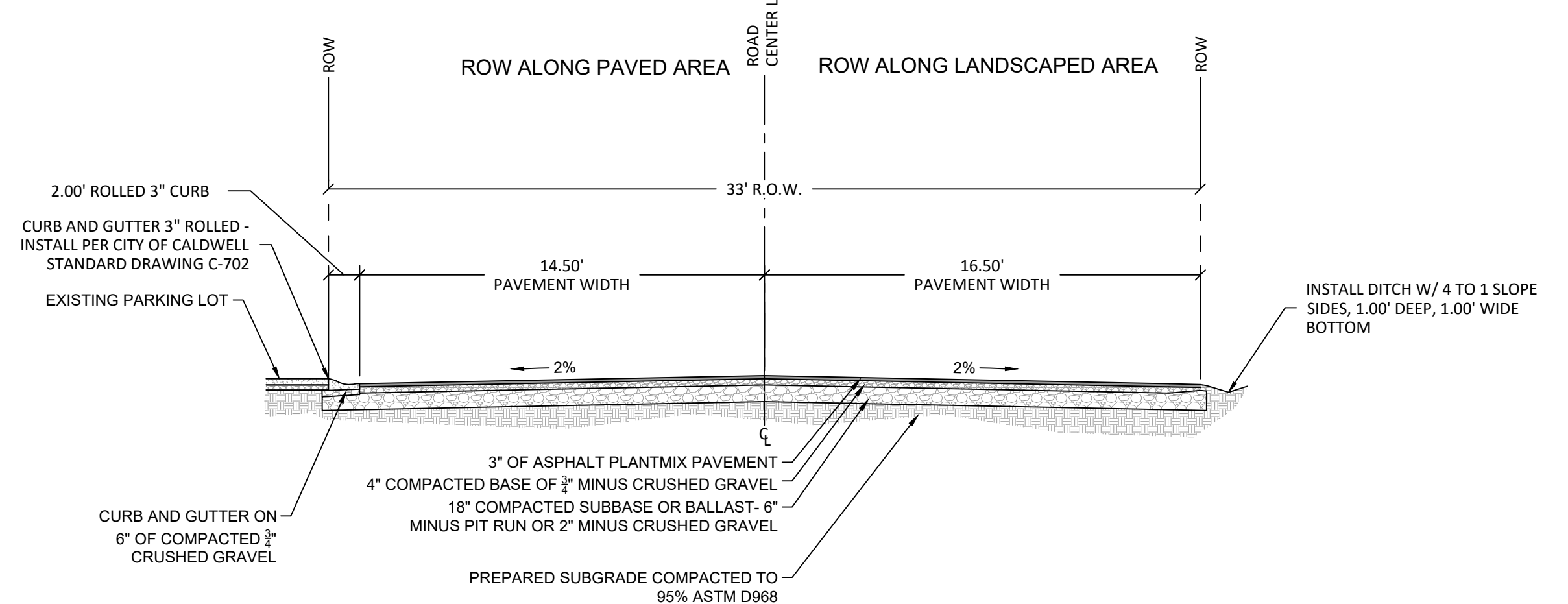
- NE INVERT IN - 2423.19'
- SW INVERT OUT - 2422.76'

GRAVEL TRENCH ELEVATION

- TOP OF TRENCH - 2405.16'
- WEST INVERT IN - 2403.87'
- BOTTOM OF TRENCH - 2403.16'
- TOP OF SAND FILTER - 2420.38'
- BOTTOM OF SAND FILTER - 2419.38'



2 PROPOSED STREET CROSS-SECTION - LINDEN STREET EXPANSION
SCALE: NTS



3 PROPOSED STREET CROSS-SECTION - TIMBERS LANE
SCALE: NTS

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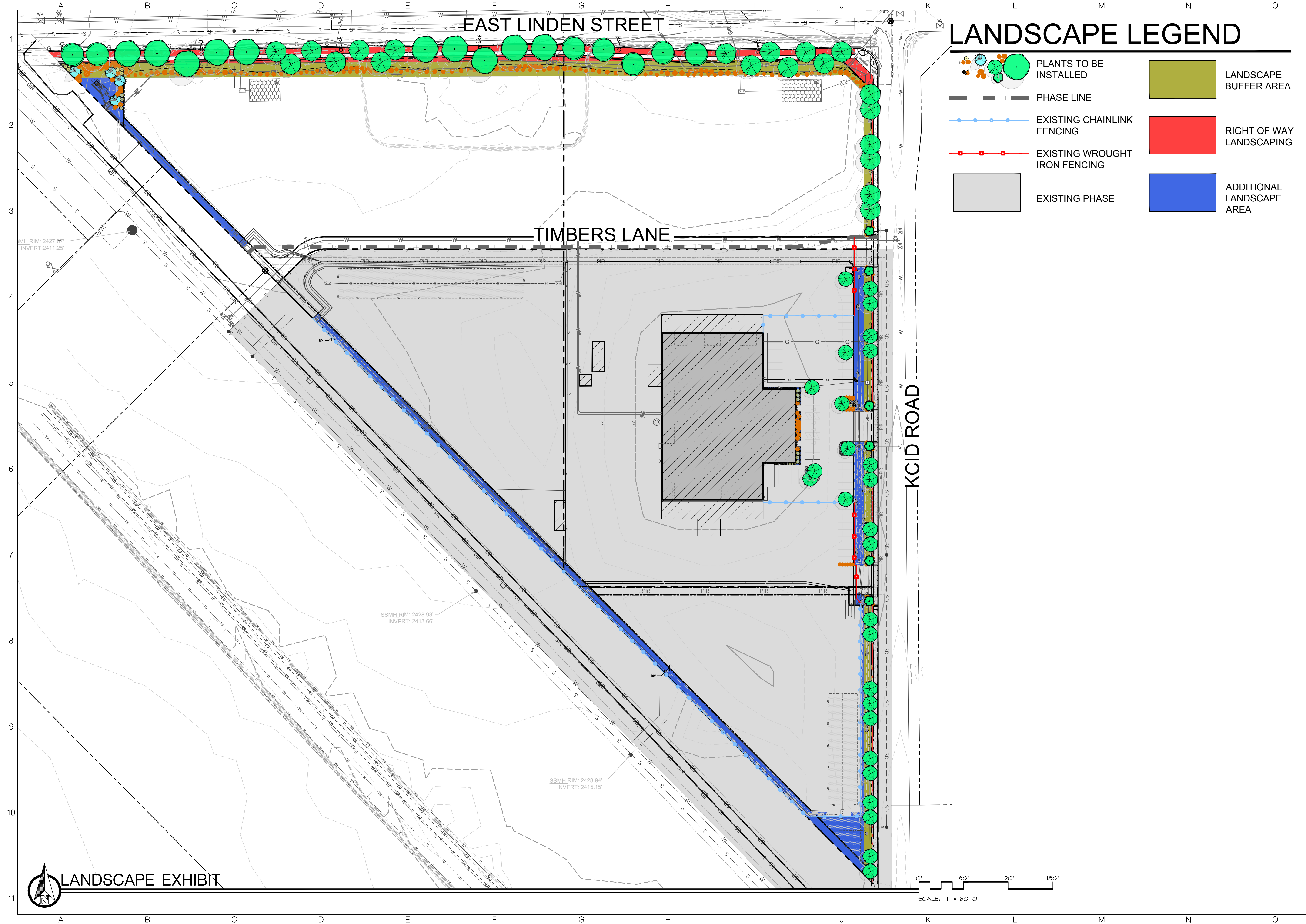
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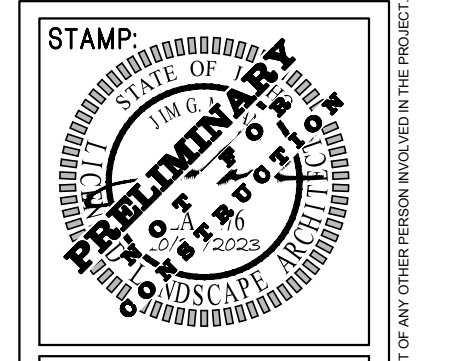
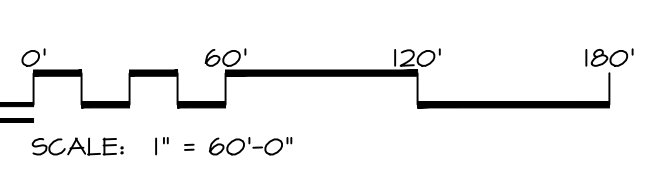
C-501
SHEET 13 OF 13



LANDSCAPE LEGEND

- PLANTS TO BE INSTALLED
- PHASE LINE
- EXISTING CHAINLINK FENCING
- EXISTING WROUGHT IRON FENCING
- EXISTING PHASE
- LANDSCAPE BUFFER AREA
- RIGHT OF WAY LANDSCAPING
- ADDITIONAL LANDSCAPE AREA

LANDSCAPE EXHIBIT



DATE: 11/13/2024

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REVISIONS:

No.	Date	Description

LANDSCAPE EXHIBIT
Montana Timber Subdivision
2618 S. Kcid Rd. Caldwell, Idaho 83605

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ALWJ

CHECKED BY:
JDR

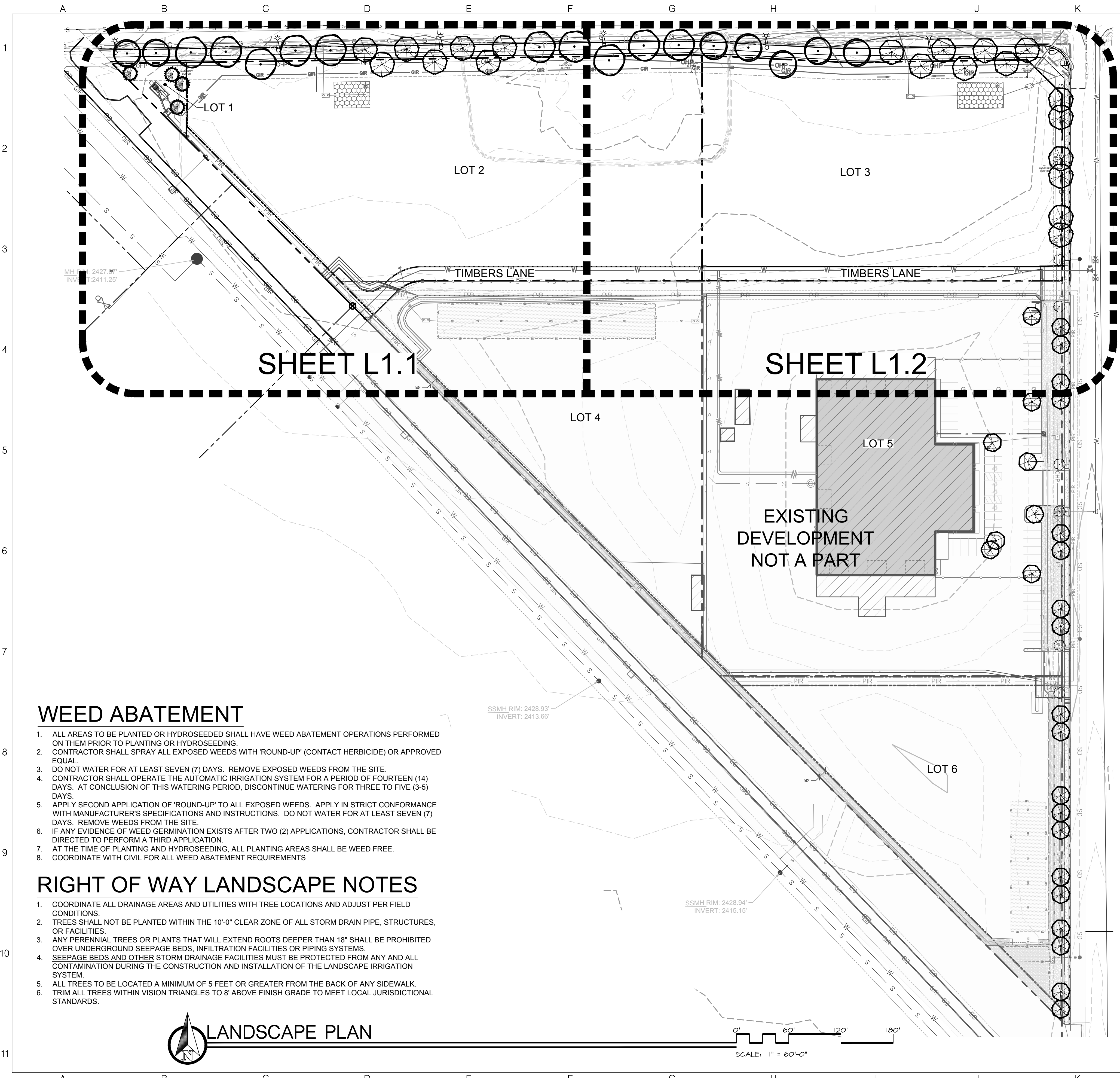
PROJECT NUMBER
24-126

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PRELIMINARY PLAT

USER:ADAM JOHNSTON LOCATION:PROJECTS\2024\24-126 TIMBERS SUB\CAD\SHEETS\24-126 LANDSCAPE EXHIBIT.DWG PRINT DATE:11/18/2024 11:41 AM



MONTANA TIMBER SUBDIVISION
 2618 S KCID RD
 CALDWELL, IDAHO
 CANYON COUNTY
 NOVEMBER 2024



VICINITY MAP
 SCALE: NTS

SITE DEVELOPMENT FEATURES

PARCELS	3 TOTAL
DEVELOPMENT AREA	281,581.5 SF (6.46 AC)
ZONING	M-1
IRRIGATED LANDSCAPE AREA	37,378 SF (13.2%)
DECORATIVE STONE AREA	13,777 SF (4.9%)

LANDSCAPING INFORMATION

ROADWAY LANDSCAPE BUFFERS:

E. LINDEN ROAD:

1,050 LNFT @ 15' STREET BUFFER	= 15,127 SQFT REQUIRED
70% GRASS COVERAGE	= 15,275 SQFT PROPOSED
TREE/ 35 LINEAR FEET	= 30 TREES REQUIRED
	= 31 TREES PROPOSED
1 SHRUB/ 7 LINEAR FEET	= 150 SHRUBS REQUIRED
	= 160 SHRUBS PROPOSED

KCID ROAD:

1,084 LNFT @ 10' STREET BUFFER:	
216 LNFT OF NEW FRONTAGE TO MATCH EXISTING, PREVIOUSLY APPROVED ALTERNATIVE COMPLIANCE LANDSCAPE	
70% GRASS COVERAGE	= 7,588 SQFT REQUIRED
	= (SEE ABOVE) NEW 1,512 SF OF DECORATIVE STONE AND 6 LANDSCAPE BOULDERS PROVIDED
1 TREE/ 35 LINEAR FEET	= 30 TREES REQUIRED
	= 6 (NEW) TREES PROPOSED (25 EXISTING TREE)
1 SHRUB/ 7 LINEAR FEET	= 155 SHRUBS REQUIRED
	= 18 (NEW) SHRUBS PROPOSED (137 EXISTING SHRUBS)

GENERAL NOTES

- CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UTILITIES WITH OWNER AND UTILITY COMPANIES PRIOR TO CONSTRUCTION. TO DETERMINE IN THE FIELD ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
- CONTRACTOR TO REPORT ALL DAMAGES TO EXISTING CONDITIONS AND INCONSISTENCIES WITH PLANS TO OWNER'S REPRESENTATIVE PRIOR TO BEGINNING OF CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL LANDSCAPE BEDS AND ALL LAWN AREAS.
- CONTRACTOR TO FINE GRADE AND ROCK HOUND ALL PLANTING AREAS PRIOR TO PLANTING. TO PROVIDE A SMOOTH AND CONTINUOUS SURFACE, FREE OF IRREGULARITIES (BUMPS OR DEPRESSIONS) AND EXTRANEIOUS MATERIAL OR DEBRIS.
- COORDINATE LANDSCAPE INSTALLATION WITH INSTALLATION OF UNDERGROUND SPRINKLER AND DRAINAGE SYSTEMS.
- CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ALL PLANT MATERIAL SUBSTITUTIONS FROM OWNER'S REPRESENTATIVE PRIOR TO ORDERING OR INSTALLATION. FAILURE TO COMPLY WILL REQUIRE THE REMOVAL OF MATERIALS AT NO COST TO THE OWNER AND REPLACED WITH APPROVED MATERIALS.
- CONTRACTOR SHALL BE RESPONSIBLE TO IMPLEMENT BEST MANAGEMENT PRACTICES TO STABILIZE ALL SLOPES 3:1 OR GREATER AND PREVENT EROSION OR MOVEMENT OF SOIL FROM SLOPES.
- ALL ROCK MATERIALS TO BE OBTAINED FROM LOCAL SOURCE OR APPROVED EQUAL.

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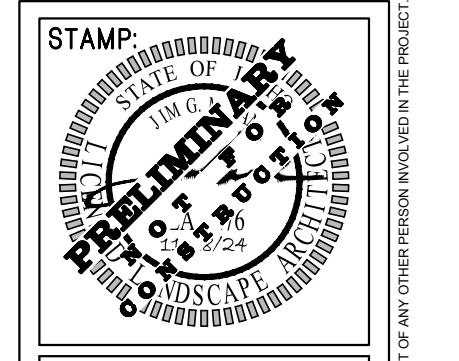
WEED ABATEMENT

- ALL AREAS TO BE PLANTED OR HYDROSEEDING SHALL HAVE WEED ABATEMENT OPERATIONS PERFORMED ON THEM PRIOR TO PLANTING OR HYDROSEEDING.
- CONTRACTOR SHALL SPRAY ALL EXPOSED WEEDS WITH 'ROUND-UP' (CONTACT HERBICIDE) OR APPROVED EQUAL.
- DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE EXPOSED WEEDS FROM THE SITE.
- CONTRACTOR SHALL OPERATE THE AUTOMATIC IRRIGATION SYSTEM FOR A PERIOD OF FOURTEEN (14) DAYS. AT CONCLUSION OF THIS WATERING PERIOD, DISCONTINUE WATERING FOR THREE TO FIVE (3-5) DAYS.
- APPLY SECOND APPLICATION OF 'ROUND-UP' TO ALL EXPOSED WEEDS. APPLY IN STRICT CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS. DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE WEEDS FROM THE SITE.
- IF ANY EVIDENCE OF WEED GERMINATION EXISTS AFTER TWO (2) APPLICATIONS, CONTRACTOR SHALL BE DIRECTED TO PERFORM A THIRD APPLICATION.
- AT THE TIME OF PLANTING AND HYDROSEEDING, ALL PLANTING AREAS SHALL BE WEED FREE.
- COORDINATE WITH CIVIL FOR ALL WEED ABATEMENT REQUIREMENTS

RIGHT OF WAY LANDSCAPE NOTES

- COORDINATE ALL DRAINAGE AREAS AND UTILITIES WITH TREE LOCATIONS AND ADJUST PER FIELD CONDITIONS.
- TREES SHALL NOT BE PLANTED WITHIN THE 10'-0" CLEAR ZONE OF ALL STORM DRAIN PIPE, STRUCTURES, OR FACILITIES.
- ANY PERENNIAL TREES OR PLANTS THAT WILL EXTEND ROOTS DEEPER THAN 18" SHALL BE PROHIBITED OVER UNDERGROUND SEEPAGE BEDS, INFILTRATION FACILITIES OR PIPING SYSTEMS.
- SEEPAGE BEDS AND OTHER STORM DRAINAGE FACILITIES MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.
- ALL TREES TO BE LOCATED A MINIMUM OF 5 FEET OR GREATER FROM THE BACK OF ANY SIDEWALK.
- TRIM ALL TREES WITHIN VISION TRIANGLES TO 8' ABOVE FINISH GRADE TO MEET LOCAL JURISDICTIONAL STANDARDS.

LANDSCAPE PLAN



DATE: 11/18/2024

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No.	Date	Description

LANDSCAPE PLAN
Montana Timber Subdivision
2618 S. Kcid Rd. Caldwell, Idaho 83605

DRAWN BY: AJW

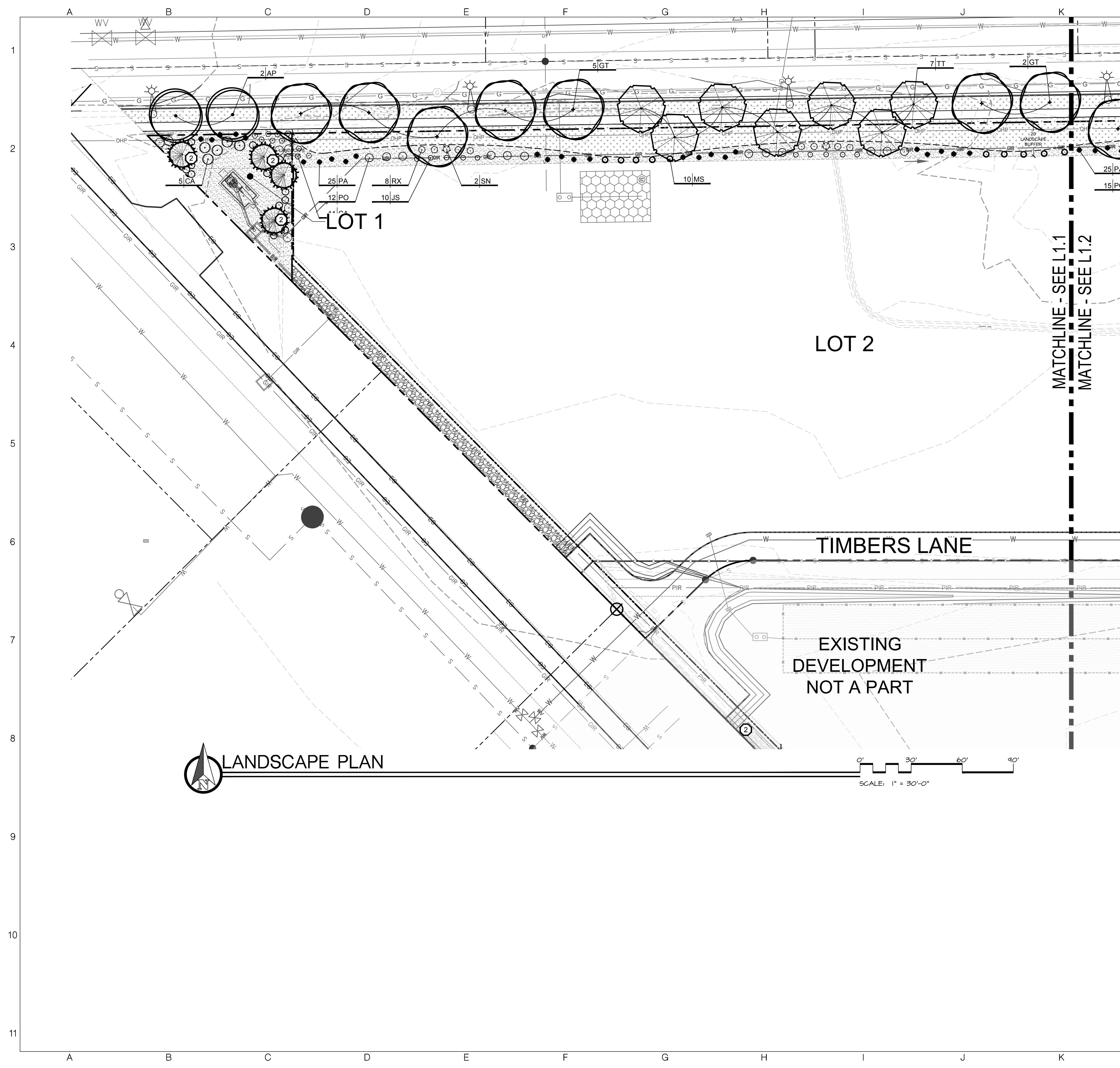
CHECKED BY: JDR

PROJECT NUMBER: 24-106

SHEET:

L1.0

PRELIMINARY PLAN



LANDSCAPE LEGEND

- PLANTS TO BE INSTALLED
- RTF TURF TYPE TALL FESCUE SOD OVER APPROVED TOPSOIL AS SPECIFIED
- CUT EDGE, SEE DETAIL 4/L2.0
- 2" MINUS WASHED COBBLE /RIVER ROCK MULCH OVER APPROVED WEED BARRIER AS SPECIFIED
- PROPERTY LINE (VERIFY)
- 3" DEPTH OF 3/4" GRAVEL ROAD MIX PLACED OVER APPROVED WEED BARRIER AS SPECIFIED
- QUANTITY PLANT IDENTIFICATION KEY
- NATIVE BASALT BOULDERS, 2'- 3' DIAMETER, SEE DETAIL 5/L-2.0

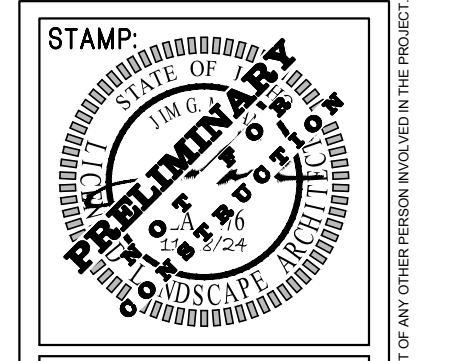
PLANT SCHEDULE

NOTE: All trees to be grade #1 (Shown at 80% Maturity)

KEY	BOTANICAL NAME COMMON NAME	PLANTING SIZE	MATURE SIZE	CLASS
DECIDUOUS TREES SEE DETAIL 1/L2.0				
AP	Acer platanoides 'Columnarbroad' Parkway Maple	2" B&B	40' hgt. 25' w	CLASS II
GT	Gleditsia triacanthos inermis 'Skyline' Skyline Honeylocust	2" B&B	45' hgt. 30' w	CLASS II
TT	Tilia tomentosa 'Sterling' Sterling Linden	2" B&B	45' hgt. 35' w	CLASS II
SHRUBS SEE DETAIL 2/L2.0				
CA	Cornus alba 'Bailhalo' Ivory Halo Dogwood	2 Gal.	6' hgt. x 6' wide	
JS	Juniperus scopulorum 'Medora' Medora Juniper	2 Gal.	10' hgt. x 3' wide	
PA	Perovskia atriplicifolia 'Blue Jean Baby' Blue Jean Baby Russian Sage	2 Gal.	2' hgt. x 3' wide	
PO	Physocarpus opulifolius 'Dart's Gold' Dart's Gold Ninebark	2 Gal.	4' hgt. x 4' wide	
RX	Rosa x 'Noasplash' Pink Splash Groundcover Rose	2 Gal.	2' hgt. x 4' wide	
SN	Sambucus nigra 'EIFFEL 1' PP #23,633 Black Tower Elderberry	2 Gal.	8' hgt. 4' wide	
GROUND COVERS/ GRASSES/ PERENNIALS SEE DETAIL 3/L2.0				
MS	Miscanthus sinensis 'Purpurascens' Purple Silver Grass	1 Gal.	6' hgt. x 3' wide	
SS	Sedum spectabile 'Autumn Joy' Autumn Joy Stonecrop	1 Gal.	2' hgt. x 3' wide	

CALLOUT LEGEND

- 40' VISION TRIANGLE
- EXISTING LANDSCAPE TO REMAIN



DATE: 11/18/2024

SOUTH BECK & BAIRD
 South Landscape Architecture P.C.
 Dba South Beck & Baird Landscape Architecture P.C.
 202 S. Vista Ave
 Boise, ID 83705
 208.342.2999 Office
 info@sbbgco.com
 www.sbbgco.com

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REVISIONS:

No.	Date	Description

LANDSCAPE PLAN
Montana Timber Subdivision
2618 S. Keid Rd. Caldwell, Idaho 83605

DRAWN BY:
ALW

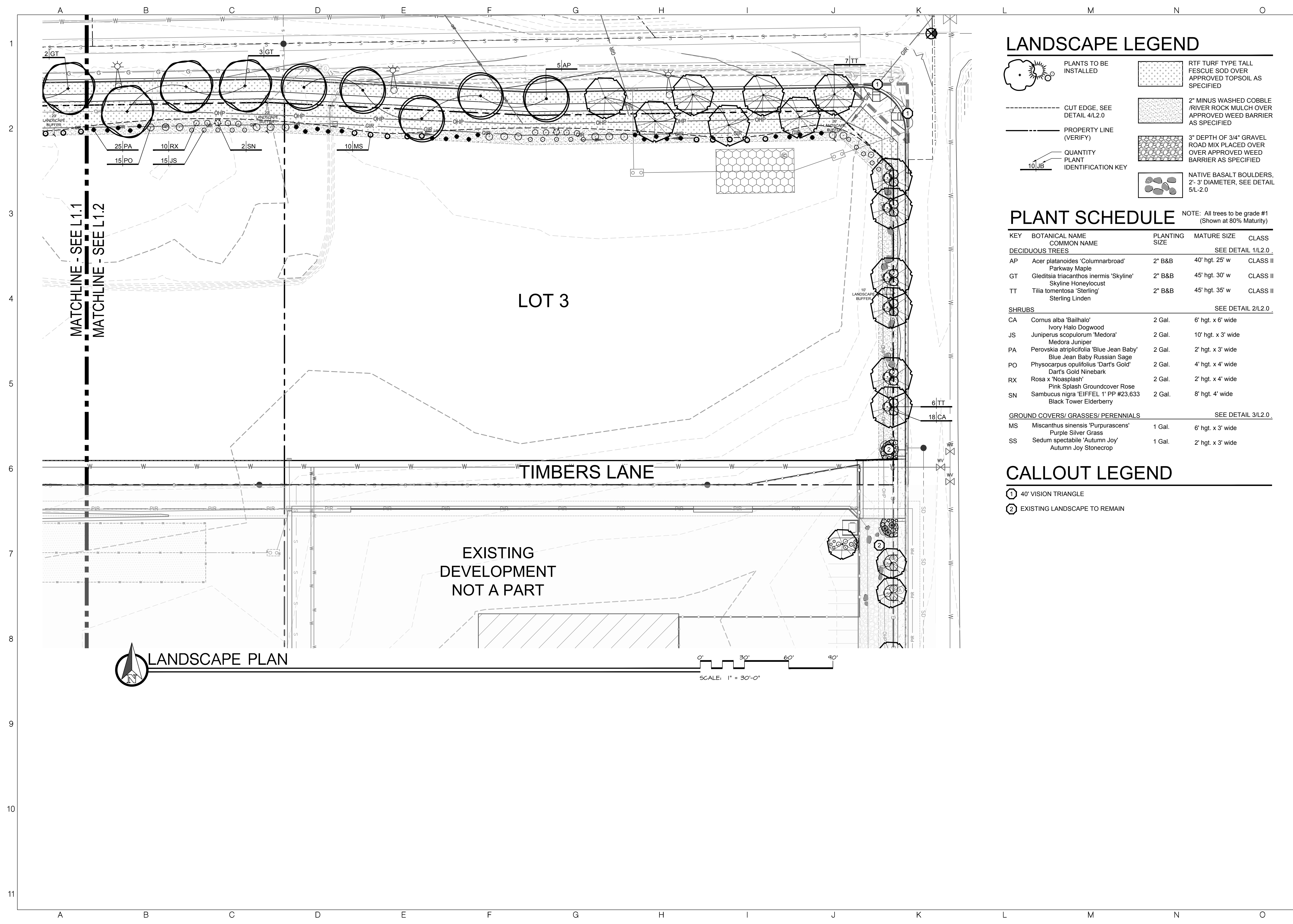
CHECKED BY:
JDR

PROJECT NUMBER
24-186

SHEET:
L1.1

PRELIMINARY PLAT

USER:SB3 LOCATION:\PROJECTS\2024\24-186-TIMBERS SUBDIVISION\SHEETS\24-186 LANDSCAPE PLANNING PRINT DATE:11/18/2024 1:06 PM



LANDSCAPE LEGEND

- PLANTS TO BE INSTALLED
- RTF TURF TYPE TALL FESCUE SOD OVER APPROVED TOPSOIL AS SPECIFIED
- CUT EDGE, SEE DETAIL 4/L2.0
- 2" MINUS WASHED COBBLE /RIVER ROCK MULCH OVER APPROVED WEED BARRIER AS SPECIFIED
- PROPERTY LINE (VERIFY)
- 3" DEPTH OF 3/4" GRAVEL ROAD MIX PLACED OVER APPROVED WEED BARRIER AS SPECIFIED
- QUANTITY PLANT IDENTIFICATION KEY
- NATIVE BASALT BOULDERS, 2'- 3' DIAMETER, SEE DETAIL 5/L-2.0

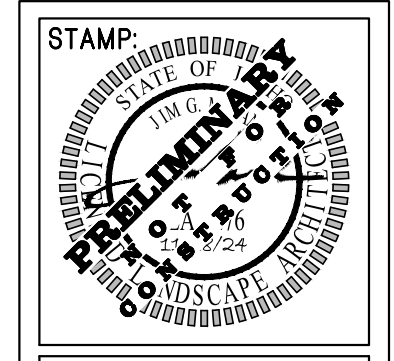
PLANT SCHEDULE

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CALLOUT LEGEND

- 40' VISION TRIANGLE
- EXISTING LANDSCAPE TO REMAIN



DATE: 11/18/2024

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 2002 S. Vista Ave
 Boise, ID 83705
 208.342.2999 Office
 info@sbbgo.com
 www.sbbgo.com
 Call before you dig
 CALL ADVANCE BEFORE YOU EXCAVATE FOR THE UNDERGROUND UTILITIES

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REVISIONS:

No.	Date	Description

LANDSCAPE PLAN
Montana Timber Subdivision
2618 S. Keid Rd. Caldwell, Idaho 83605

DRAWN BY:
AWJ

CHECKED BY:
JDR

PROJECT NUMBER
24-126

SHEET:

L1.2

PRELIMINARY PLAT

USER:SB LOCATION:PROJECTS\2024\24-126-TIMBERS SUB\CAD\SHEETS\24-126-LANDSCAPE PLANNING PRINT DATE:11/18/2024 1:06 PM



John Giuliani
2618 S KCID RD
Caldwell ID 83605
jgiuliani@montanatimberproducts.com

Current Site Photos











Obtained By: Roy Moore

Reviewed By: ETS

**Exterior Boundary
Description for
Timbers Subdivision**

The following Describes a Parcel of Land being a Portion of the Northeast 1/4 of the Northeast 1/4 of Section 36, Township 4 North, Range 3 West, Boise Meridian, City of Caldwell, Canyon County, Idaho and more particularly described as follows:

COMMENCING at the Northeast Corner of Section 36, Township 4 North, Range 3 West, Boise Meridian; From which, the Northwest Corner of the Northeast 1/4 (North 1/4 Corner) of said Section 36 bears, South 89°36'59" West, 2,646.45 feet; Thence along the Northerly Boundary Line of the Northeast 1/4 of said Section 36, South 89°36'59" West, 1155.76 feet; Thence leaving said Northerly Boundary Line, South 44°15'34" East, 55.49 feet to the Southerly Right of Way Line of East Linden Street, the **POINT OF BEGINNING**:

Thence along the Southerly Right of Way Line of East Linden Street, North 89°36'59" East, 665.00 feet,

Thence continuing, South 86°43'41" East, 180.37 feet;

Thence continuing, North 89°36'59" East. 205.00 feet;

Thence leaving said Southerly Right of Way Line, and along the Westerly Right of Way Line of South KCID Road, South 44°59'49" East, 56.10 feet;

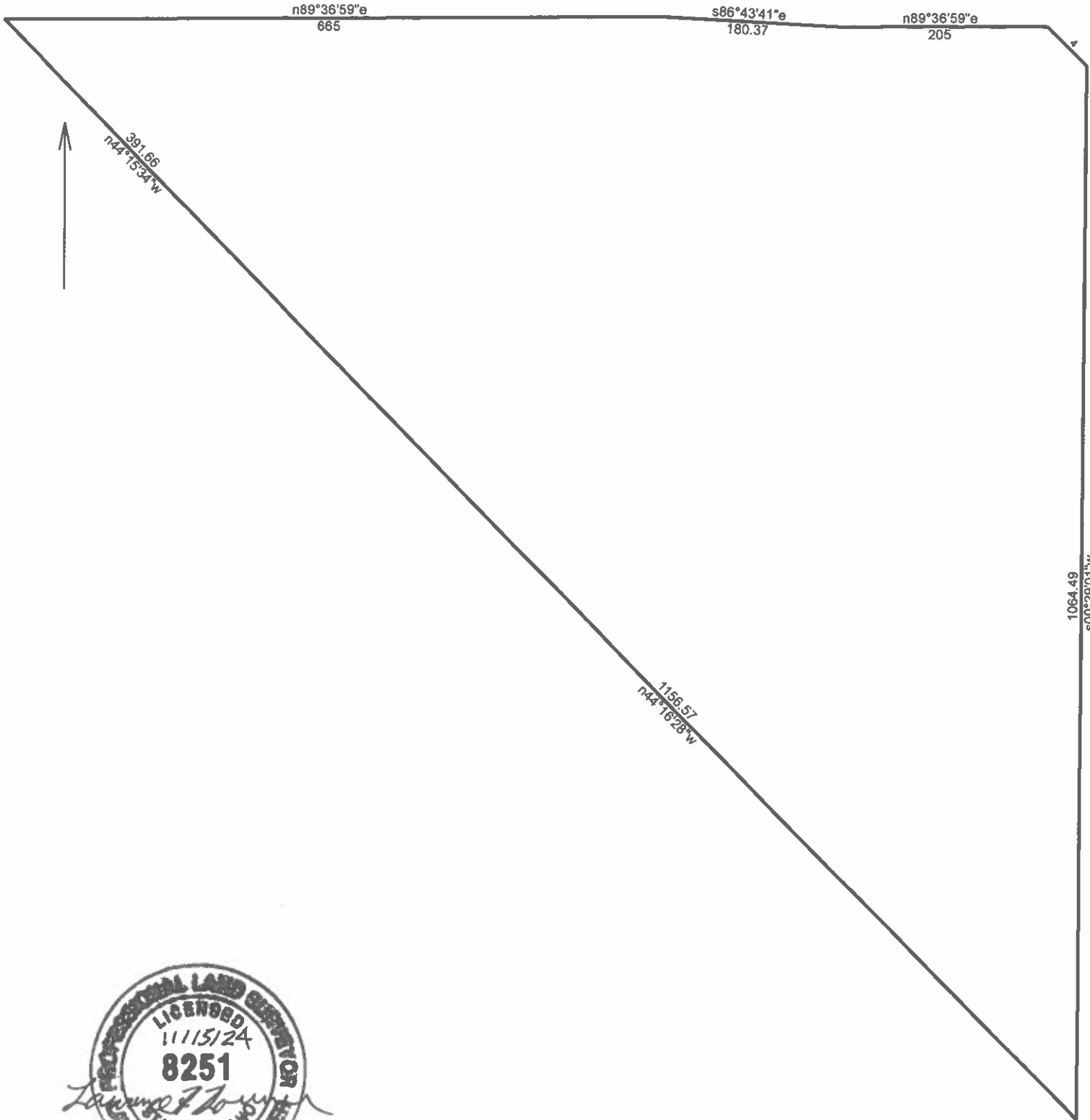
Thence continuing, South 00°29'01" West, 1,064.49 feet;

Thence leaving said Westerly Right of Way Line, North 44°16'28" West, 1,156.57 feet;

Thence, North 44°15'34" West, 391.66 feet to the **POINT OF BEGINNING**:

The above Described Parcel of Land contains 13.86 acres, more or less.





Timbers Subdivision Final Plat Boundary Description

11/15/2024

Scale: 1 inch= 140 feet

File:

Tract 1: 13.8573 Acres, Closure: s04.4931e 0.02 ft. (1/205563), Perimeter=3719 ft.

01 n89.3659e 665

07 n44.1534w 391.66

02 s86.4341e 180.37

03 n89.3659e 205

04 s44.5949e 56.1

05 s00.2901w 1064.49

06 n44.1628w 1156.57



**Timbers Subdivision
Preliminary Plat Boundary Description**

The following Describes a Parcel of Land being a Portion of the Northeast 1/4 of the Northeast 1/4 of Section 36, Township 4 North, Range 3 West, Boise Meridian, City of Caldwell, Canyon County, Idaho and more particularly described as follows:

BEGINNING at the Northeast Corner of Section 36, Township 4 North, Range 3 West, Boise Meridian; From which, the Northwest Corner of the Northeast 1/4 (North 1/4 Corner) of said Section 36 bears, South 89°36'59" West, 2,646.45 feet;

Thence along the Northerly Boundary Line of the Northeast 1/4 of said Section 36, South 89°36'59" West, 1155.76 feet;

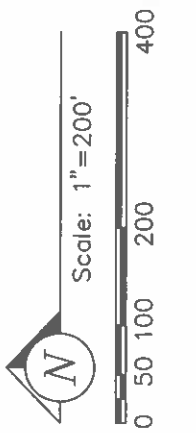
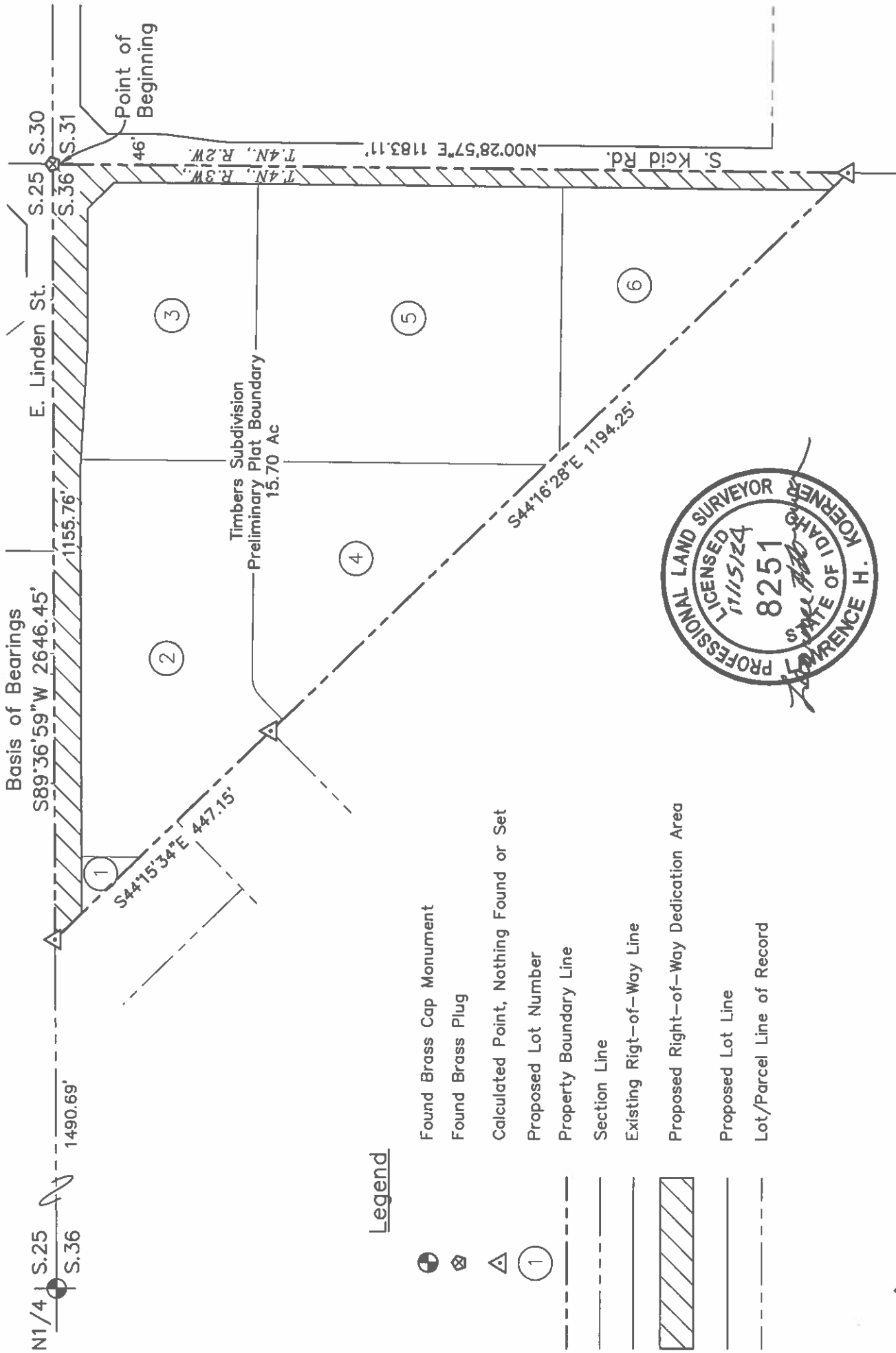
Thence leaving said Northerly Boundary Line, South 44°15'34" East, 447.15 feet;

Thence, South 44°16'28" East, 1,194.25 feet to the Easterly Boundary Line of the Northeast 1/4 of said Section 36;

Thence along the Easterly Boundary Line of the Northeast 1/4 of said Section 36, North 00°28'57" East, 1,183.11 feet to the **POINT OF BEGINNING**;

The above Described Parcel of Land contains 15.70 acres, more or less.





P:\Timbers Subdivision 24-290\dwg\Plat\Plat Exhibit 24-290.dwg 11/15/2024 11:28:45 AM

IDAHO SURVEY GROUP, LLC

9639 W EMERALD ST.
 BOISE, IDAHO 83704
 (208) 846-8570

Exhibit Drawing for Timbers Subdivision Preliminary Plat Boundary		Job No. 24-290
Located in the NE1/4 of the NE1/4 of Section 36, T.4N., R.3W., B.M., City of Caldwell, Canyon County, Idaho.		Sheet No. 1
		Dwg. Date 11/15/2024

AT-59277

2022-004901 RECORDED 01/27/2022 04:27 PM CHRIS YAMAMOTO CANYON COUNTY RECORDER Pgs=3 SCARDENAS \$15.00 TYPE: DEED ALLIANCE TITLE - BOISE PRODUCTION ELECTRONICALLY RECORDED

QUIT CLAIM DEED

FOR VALUE RECEIVED, MTP Acquisition 520 Florida LLC, an Idaho limited liability company, the Grantor, does hereby convey, release, remise and forever quit claim all of Grantor's right, title and interest in and to the real property legally described on the attached Exhibit A, which is made a part hereof, together with any and all appurtenances thereof (collectively the "Property"), unto MTP Acquisition Linden, LLC, an Idaho limited liability company, the Grantee, whose address is 5104 E. Linden Street, Caldwell, Idaho 83605.

IN WITNESS WHEREOF, the Grantor has caused its name to be hereunto subscribed this 27th day of January, 2022.

[Signature on following page]

Exhibit A

Legal Description of the Property

A parcel of land situated in the Northeast Quarter of the Northeast Quarter of Section 36, Township 4 North, Range 3 West of the Boise Meridian, Canyon County, Idaho, more particularly described as follows:

BEGINNING at the Northeast corner of said Section 36, (Corner Perpetuation and Filing Record No. 200114973); thence along the Easterly boundary of said Northeast Quarter of the Northeast Quarter,

1) South 00°28'50" West, 1322.01 feet to the Southeast corner of said Northeast Quarter of the Northeast Quarter; thence along the Southerly boundary line of said Northeast Quarter of the Northeast Quarter,

2) South 89°41'58" West, 731.66 feet to the Northeasterly boundary line of Parcel A as shown on Record of Survey Instrument No. 8824213, Records of Canyon County, Idaho; thence along said boundary line,

3) North 44°16'22" West, 784.94 feet to the Southeasterly boundary line of Parcel 6 as shown on Record of Survey Instrument No. 2007010248, Records of Canyon County, Idaho; thence along said boundary,

4) North 45°44'03" East, 624.35 feet to the most Easterly corner of said Parcel 6; thence along the Northeasterly boundary line of said Parcel 6 and Parcel 5 as shown on said Record of Survey,

5) North 44°16'22" West, 447.16 feet to the Northerly line of said Northeast Quarter of the Northeast Quarter; thence along said line,

6) North 89°36'48" East, 1155.76 feet to the POINT OF BEGINNING.

EXCEPTING THEREFROM:

A parcel of land situated in the Northeast Quarter of the Northeast Quarter of Section 36, Township 4 North, Range 3 West, Boise Meridian, Canyon County, Idaho, more particularly described as follows:


COMMENCING at the Northeast corner of said Section 36; thence South 00°28'50" West, 1183.11 feet along the Easterly boundary of said Northeast Quarter of the Northeast Quarter to the POINT OF BEGINNING; thence continuing South 00°28'50" West, 138.90 feet along said Easterly boundary of the Northeast Quarter of the Northeast Quarter to the Southeast corner of said Northeast Quarter of the Northeast Quarter; thence South 89°41'58" West, 731.66 feet along the Southerly boundary of said Northeast Quarter of the Northeast Quarter to the Northeasterly boundary of Parcel A as shown on Record of Survey Instrument No. 8824213, Records of Canyon County, Idaho; thence North 44°16'22" West, 784.94 feet along said Northeasterly boundary to the Southeasterly boundary of Parcel 6 as shown on Record of Survey Instrument No. 2007010248, Records of Canyon County, Idaho; thence North 45°44'03" East, 624.35 feet along said Southeasterly boundary to the most Easterly corner of said Parcel 6; thence South 44°16'22" East, 1194.23 feet to the POINT OF BEGINNING.

Property Owner Acknowledgment

I, John Giuliani, the recorded owner for real property addressed as 2618 S KCID Road, Suite # , City Caldwell State Idaho Zip 83605, am aware of, in agreement with, and give my permission to Noesis Engineering Services - Daniel B. Sharp P.E., to submit the accompanying application(s) pertaining the that property.

1. I agree to indemnify, defend and hold the City of Caldwell and its employees harmless from any claim or liability resulting from any dispute as to the statement(s) contained herein or as to the ownership of the property which is the subject of the application.
2. I hereby grant permission to City of Caldwell staff to enter the subject property for the purpose of site inspection(s) related to processing said application(s).

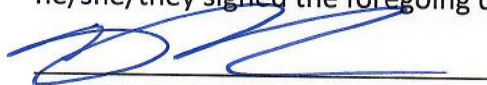
Dated this 12th day of NOVEMBER, 20 24


(Signature)

CERTIFICATE OF VERIFICATION

MT sm
STATE OF IDAHO)
Missoula) ss.
County of Canyon)

I, Sarah Miller, a Notary Public, do hereby certify that on this 12 day of November, in the year 2024, personally appeared before me John Giuliani, known or identified to me to be the person whose name is subscribed to the foregoing instrument, who, being by me first duly sworn, declared that he/she/they signed the foregoing document, and that the statements therein contained are true.


NOTARY PUBLIC FOR IDAHO MT.

Residing at Alberton, MT

My Commission Expires 3/13/26

