

Phone: (208) 455-3021 | Web: www.cityofcaldwell.org

Master Land Use Application

I. Application Requests (check all that apply)

Please note that any land use action below marked with an asterisk (*) will require public hearing. Land use actions below marked with two asterisks (**) may require public hearing depending on the scope of project.

Admin Director Determination		Performance Bonding
Admin Development Review ²		Planned Unit Development (new)*
Alternative Method of Compliance		Planned Unit Development (modification)**
*Annexation w/ Zoning		Public Art/Murals
Business License (permit)		Rezone (zoning map amendment)
**Certificate of Appropriateness		Signs ¹
Comp Plan (Map) Amendment		Special Use Permit (new)
*Comp Plan (Text) Amendment		Special Use Permit (modification)**
*Deannexation		Special Use Permit (time extension)
**Design Review		Subdivision Plat (prelim plat) *
Development Agreement (new) *		Subdivision Plat (final plat)
Development Agreement (modification)**		Subdivision Plat (short plat) ³
Development Agreement (termination)*		Subdivision Plat (modification)**
Home Occupation Permit (new)		Subdivision Plat (renewal)
Home Occupation Permit (renewal)		Subdivision Plat (time extension)
Lot Line / Boundary Line Adjustment		Temporary Use Permit (new)
Lot Split (administrative)		Temporary Use Permit (renewal)
Lot Split (simple)		Traffic Impact Study Review
*Manufactured Home Community		*Vacation (easement, ROW, plat note)
Mobile Food Unit (Individual)		*Variance
Outdoor Dining Permit		Zoning Ordinance (Text) Amendment
Parcel Consolidation		
Other, please describe:		

¹Freestanding, post/pole, or monument signs less than 6' in height. All other signs must be submitted through the building department. ² Used when not associated with other land use applications, when revisions to an approved (non-subdivision development) is being proposed, or when the land use schedules indicate the requirement for Administrative Development Review.



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II. General Project / Site Information

Project or Development Name: (for business licensing, use business name)							
0": 111 ()						-	
Site Address(s): Upload separate attached sheet if more than six (6) site addresses						-	
	L						
Suite #s:							
	,						
Parcel #s:							
Total Acres:							
							-
Prior Use of Property:							
	_						
Proposed Use of Property:							
<u>Current</u> Zoning of Subject Parcel(s):	□ RS-1	□ C-1	□ M-1	□ D-CC □ C-CB	□ A-D	☐ Prop	
(check all that apply)	□ RS-2 □ R-1	□ C-2 □ C-3	□ M-2 □ I-P	□ C-CB	□ C-D □ H-D	in Cou	щу
	□ R-2	□ C-4		I IV	□ P-D	List Co	unty
	□ R-3	☐ H-C				Design	ation:
						1	



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Proposed Zoning of Subject Parcel(s): (check all that apply)	 □ No Change □ RS-1 □ RS-2 □ R-1 □ R-2 □ R-3 	☐ C-1 ☐ C-2 ☐ C-3 ☐ C-4 ☐ H-C	□ M-1 □ M-2 □ I-P		□ D-CC □ C-CB □ T-N	□ A-D □ C-D □ H-D □ P-D
Select the Overlay District for the Subject Parcel(s): (check all that apply)	□ Not inOverlay Zone□ APO-1□ APO-2	□ ED-1	□ FP-1	☐ HD-1 ☐ HD-2 ☐ HD-3	□ SO-1 □ SO-2 □ SO-3	□ UD-1 □ UD-2 □ UD-3
City of Caldwell Comprehensive Plan Designation of Subject Parcel(s): (check all that apply)	□ Neighborhoo□ Neighborhoo□ Urban Neighborhoo	d 2 d 3]	□ Downtow □ Mixed Us □ Commun □ Special P	e Center ity Center	mployment Center
Is/Are Subject Parcel(s) located within an "Area Hub" as indicated within the City of Caldwell Comprehensive Plan?	□ Yes □ No					
III. Applicant I		d signer will be	required from	the Secretar	y of State.	
Name:						
Company Name: (if applicable)						
Mailing Address:						
Phone:		Email:				
Applicant Relationship to Property Owner:	☐ Property Owr ☐ Petitioner (va		-	Representa	tive 🗆 Purch	aser



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IV. Property Owners' Information (if different from applicant)

Name:					
Mailing Address:					
Phone:	Em	ail:			
V. Contractor	/ Developer Infor	mation (fill o	out, if applicable)		
	•	· · · · · · · · · · · · · · · · · · ·			
Name:					
Company Name:					
(if applicable)					
Mailing Address:					
Phone:	Em	ail:			
I					
VI. Architect I	nformation (fill out, if a	annliachla)			
VI. AICIIILECLI	ilorination (iiii out, ii s	арріісавіе)			
Name:					
Company Name:					
(if applicable)					
Mailing Address:					
				1	
Phone:	Em	ail·			
					



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VII. Civil Engineer / Surveyor Information (fill out, if applicable)

Name	:				
	oany Name: licable)				
					-
Mailin	g Address:				
	5				
		1			_
Phone	۵۰		Email:		
1 11011	5.		Liliali.		
VIII.	Landscape	Architect Info	rmation (fill out	t, if applicable)	
Name	:				
	any Name:				
(If appl	licable)				_
Mailin	g Address:				
Phone	e:		Email:		
	,				
IX.	Annlicant A	Acknowledgen	ant		
iXi	Applicant	Ackilowicageii	iciit		
	By signing this app	plication, I authorize	employees/agents	of the City to enter onto the property th	nat is
	the subject of this	s application during re	egular business hou	urs. The sole purpose of entry is to make	e an
	•	ie property that is ned	_		
		-	, ,		
	I certify that I am	the owner of this pro	perty, the owner's	authorized agent/representative, or the	2
	•	•	•	gent or representative, I further certify th	
			_	to perform, on behalf of the owner, all a	
	•	·		such an application. I will comply with a	
		law and ordinance go			



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my knowledge.	art of this application is true and correct to the best o
I certify that I am the:	
☐ Property Owner ☐ Authorized Agent / Representative	ve □ Petitioner (Vacations Only)
Applicant / Applicant's Representative Printed Name	Date
Applicant / Applicant's Representative Signature	



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SPECIAL USE PERMIT CHECKLIST

The following items shall be included in the application submittal. Additional information may be required upon official review of the plans. Please check the box for each item listed below to confirm submission of the item listed.

	☐ All applications, checklists, plans and supporting documents must be submitted through our Online Permit Center.					
	All applications, checklists, plans and supporting documents shall follow the naming schematic as provided here.					
	Filing fees (see Section 2 below)					
	PDF Documents formatted in accordance with Section 5 below.					
	All documents shall follow the <u>naming conventions as shown here.</u>					
	CTION 2: Filing Fees or to the Planning Department fee list for most current fees.					
	Permit fees. Fees will be required to be paid once the application has been submitted and received by the department.					
	CTION 3: Submittal Documents items listed below are considered a minimum. Additional information may be necessary for clarification during the review					
	ess.					
	Waster Land Use Application. Copy of a completed and signed master land use application.					
	Master Land Use Application. Copy of a completed and signed master land use application.					
□ .4 □ (t	Master Land Use Application. Copy of a completed and signed master land use application. Application Checklist. Copy of a completed and signed application checklist Copy of Deeds or Proof of Ownership. If the owner is a corporation or LLC, proof of the representative for					
A C tl	Master Land Use Application. Copy of a completed and signed master land use application. Application Checklist. Copy of a completed and signed application checklist Copy of Deeds or Proof of Ownership. If the owner is a corporation or LLC, proof of the representative for the LLC or corporation will be required.					



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egal Descriptions. Attach a legal description of the property including metes and bounds to the centerline of adjacent rights of ways. All legal descriptions shall be certified by a land surveyor registered to the State of aho.	
etailed Site Plan, drawn to scale, showing:	
Location of all property lines and dimensions All streets and driveways All off-street parking, loading spaces, drive aisles, ramps, and sidewalks All trash enclosure locations All existing and proposed landscaping All existing and proposed buildings and structures with setbacks All utility locations. Specify location of any overhead utility lines on the property Location of all proposed sign with dimensions to property line	
Example 2.1 Colored building Elevations (if new construction or remodel): Colored building elevations of all four (4) les of buildings, indicating building heights, colors, materials, windows, doors, architectural features, and indicaping around buildings.	
Indscape Plan: Landscape plan, drawn to scale (no smaller than 1" = 50') and prepared by a landscape chitect, a landscape designer or a qualified nursery person. Landscape plans shall be stamped by a ensed landscape architect and including the following information:	
Streets, Setbacks and Easements: Show all streets, setbacks, and easements, Streets shall be identified by name. Dimension and label all right-of-way, setbacks, and easements	⊧d
Sight Visibility Triangles: Show and label all sign visibility triangles.	
Storm Water Facilities and Berms: Show all storm water facilities and berms. Indicate berm heights, slopes and proposed landscaping	
<i>Off-Street Parking & Bicycle Parking:</i> A note listing the required number of parking spaces and bicycle parking spaces, the provided number of parking spaces and bicycle parking spaces, and the circulation area required to serve the parking spaces with typical dimensions.	
Existing Trees and/or Shrubs: Location of all existing trees and shrubs, and the approximate size and type of any existing trees and shrubs. Indicate by note which trees and/or shrubs will remain, if any.	
Existing and Proposed Structures : Location of all existing and proposed structures and a note of whether the existing structures will remain	
Pathways: Location, width, and type of pathways, along with identification of all required pathway materials and landscaping callouts for micro pathways, major pathways, public pathways, regional pathways, and Indian Creek Corridor pathways (if applicable).	



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	<i>Open Space Exhibit</i> : Separate open space exhibit clearly delineated using colored shading, so it is readily identifiable. The open space exhibit shall contain a table identifying:
	☐ The percentage and acreage of each individual areas of open space and if the open space is being calculated as qualified open space
	☐ The total percentage and acreage of code required open space and qualifying open space in relationship to the gross area of the project
	 ☐ The total percentage and acreage of proposed open space and qualifying open space in relationship to the gross area of the project
	Public Amenities: Location, size, and types of new structures for recreational use (i.e., gazebos, water features, picnic areas, shuffleboard, etc.)
	School Bus Stops: Location of school bus stop areas within a common lot or common easement
	Public Transit Stops: Location of any public transit
	Street Landscape Buffers: Location and width of all street landscape buffers. Include the location of all sod, trees, shrubs, plantings, and other materials proposed.
	Landscape Buffers Between Land Uses: Location and width of all landscape buffers between different land uses. Include the location of all sod, trees, shrubs, plantings, and other materials proposed.
	Parking Lot Landscaping: Location and size of all landscape islands within parking lots, Include the location of all landscaping materials proposed
	Trash Enclosures: Location of all trash enclosures, to include details about screening and landscaping
	Fencing: Location, height, color, and materials for all existing or proposed fencing
	Other Landscape Amenities: Provide location, size, type and description of all other landscape improvements such as berms, decorative rock, boulders, etc.
	Landscape Schedule: Provide a table listing all of the locations, descriptions, types and numbers of landscaping products to be installed.
hu	affic Impact Study: A traffic impact study will be required if the proposed development generates one ndred (100) or more peak hour vehicle trips; more than thirty thousand (30,000) square feet of commercial e; or more than fifty thousand (50,000) square feet of industrial use.
un	te: The city may require an impact study, even if the aforementioned criteria are not exceeded to resolve ique circumstances. The city may also waive the requirement if, in the city's opinion, there are no traffic sues to resolve.



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SECTION 4: Project Specific DetailsFill in all the information below that is applicable to the project being proposed.

LAND USE AND ZONING INFORMATION				
	Zoning Designation	Comp Plan Designation	Land Use	
(Subject Property)				
North of Site				
South of Site				
East of Site				
West of Site				

PARKING, LOADING AND PEDES		
Description	Min. Required	Proposed
Electric vehicle parking spaces		
Off-street parking spaces		
Commercial loading spaces		
Industrial loading spaces		
Bicycle parking spaces:		
Describe any public transportation facilities that will be provided.		
Describe any public amenities that are being proposed:		



South Property Line

East Property Line

West Property Line

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LANDSCAPING AI	ND PATHWA	YS					
Landscaping: □ Parking lot □ Common areas □ Street landscape buffers □ Between different land uses □ Adjacent to Pathways □ Around building exterior □ Other							
Public or Regional F Describe location, wid landscaping, and any fencing:	ith,						
STREET LANDSC	APF RUFFF	RS.					
Location (Enter Street Name)	Min. Width Required	Proposed Width	% of Sod Proposed	# of Trees Proposed	Min. Tree Spacing (in feet)	# of Shrubs Proposed	Min. Shrub Spacing (in feet)
							, , ,
							(33)
		250					
BUFFERS BETWE	EN LAND U						
BUFFERS BETWE Location (If not required, put N/A)	EN LAND U		% of Sod Proposed	# of Trees Proposed	Min. Tree Spacing (in feet)	# of Shrubs Proposed	Min. Shrub Spacing (in feet)

Parking lot landscaping previously reviewed and stamped by City of Caldwell



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PUBLIC SIDEWALKS						
Location (Street Name)	Min. Wi Require		Proposed Width	Type of Sidewalk	Existing or Proposed	
				☐ Meandering	☐ Existing	
				☐ Attached	□ Proposed	
				□ Detached		
				☐ Meandering	☐ Existing	
				☐ Attached	□ Proposed	
				□ Detached		
				☐ Meandering	☐ Existing	
				☐ Attached	□ Proposed	
				□ Detached		
				☐ Meandering	☐ Existing	
				☐ Attached	□ Proposed	
				□ Detached		
UTILITIES, INFRASTRUCTURE,	AND PU	BLIC SE	RVICES INFOR	MATION		
		Street F	rontage			
Type of Site Access:		Easeme	ent			
		Easeme	ent Width:	Instrumer	nt #	
Street(s) Providing Access:						
Will Secondary Access for Fire be Provided:	□ Yes	□ No				
		Public				
Internal Roads:		Private				
internal Noaus.		Internal	Circulation			
		Road U	ser's Maintenance	Agreement Inst#		
School Districts Serving this		Caldwe	II School District			
Location:		Vallivue School District				



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UTILITIES, INFRASTRUCTURE, AND PUBLIC SERVICES INFORMATION						
		Individual Domestic Well – How Many?				
		Centralized Public Water System				
Domestic Water:		City Municipal Water System				
		N/A				
	Nearest	Water Line Connection:				
		Individual Septic				
0		City Municipal Sewer				
Sewer (Wastewater):		N/A				
	Nearest	Sewer Line Connection:				
		Surface				
		Irrigation Well				
		Pressurized				
Irrigation:		Gravity				
		N/A				
	Nearest Irrigation Connection:					
	Irrigatio	n District:				
		Swales				
		Ponds				
Stormwater:		Borrow Ditches				
		Other, Explain:				
Stormwater Management:	Does the	e site disturb one or more acres of land? □ Yes □ No				
Fire Suppression Water Supply Source:						
Sources of Surface Water on or Nearby Properties (i.e., creeks, ditches, canals, lake, etc.):						



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SECTION 5: PDF Formatting Requirements

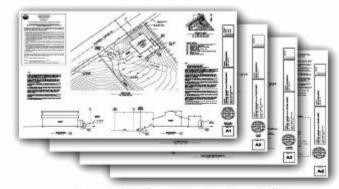
Portable Document Format (PDF) is the industry standard for electronic plans. The City of Caldwell only accepts PDF files for plan review. PDF files must be properly formatted as described below. Please read the instructions carefully. Improperly formatted plans can delay the plan review process for your project.

Layers: No multiple layers. Layers must be merged or flattened.

Format: Vector-based files are preferred given the ability to scale these files.

Resolution: Min. of 300 pixels per inch (PPI)

Grouping: Multiple sheet PDF (single file with multiple sheets)



plans.pdf (multiple sheets)

√ Correct

Labeling: Each sheet of the plans must be labeled with the project name, contractor, and address of the

subject site.



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SECTION 6: Applicant Acknowledgement

☐ I acknowledge that all items on the checklist are included in the submittal package and that all documents have been named accordingly and submitted as single-sided, high-resolution pdf documents; and
$\ \square$ I acknowledge that I, the applicant, or my representative is responsible to attend all public hearings; and
☐ I acknowledge that applications are not deemed complete until the application has been submitted, all fees have been paid, and the application has been deemed accepted after completion of the prescreening process. This could impact neighborhood meeting deadlines and scheduling of public hearing dates.
☐ I acknowledge that I have read, understand, and am in compliance with all standards, terms, and requirements listed in Caldwell City Code; and
☐ I certify I am the:
☐ Property Owner as the Applicant ☐ Property Owner's Agent / Representative
Applicant / Applicant's Representative Printed Name Date
Applicant / Applicant's Representative Signature

City of Caldwell Planning and Zoning - Special Use Permits - August 2024



INVOICE

Permit #: SUP25-000014
Address: 0 GRAVEL LN

Fee	Account Code	Amount
P&Z Fees - SUP - More than 5 acres but less than 10 acres (Base Fee)	10200	2,280.00
Fire Fees - SUP - More than 1 acre	22025	102.97
Eng Fees - SUP - 2 to 20 acres	12530	519.44
TOTAL	�	2,902.41



July 3, 2025 Project No.: 23-220

Ms. Robin Collins Planning & Zoning Director City of Caldwell 205 South 6th Avenue P.O. Box 1179 Caldwell, ID 83605

RE: Canyon Springs RV Park Expansion – Caldwell, Idaho

Special Use Permit Application

Dear Ms. Collins:

On behalf of TC Property Management LTD, we are pleased to present the Canyon Springs RV Park expansion which encompasses 5 parcels directly north of the existing Canyon Springs RV Park, located at 21965 Chicago St, Caldwell, ID 83607.

With this application, the property owner would like to propose a Special Use Permit (SUP) to develop 41 additional RV spaces and add a passenger vehicle parking lot. The Special Use Permit request is consistent with the previously approved SUP while providing the necessary infrastructure, landscaping, and access

to the facility.134

Site Information

The property used for expansion and the parking lot encompasses approximately 6.44 acres identified as parcel numbers R3465001000, R3465001100, R3494901400, R34949014A0, and R34650011A0. The property is located south of State Hwy 20/26 between Gravel Lane and Spring Lake Drive. The site is currently zoned C-3 and will retain the C-3 designation.

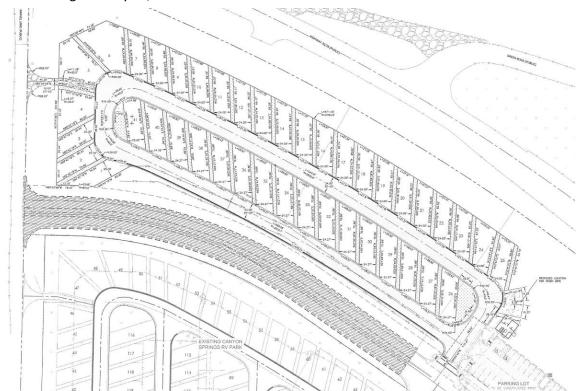


Canyon Springs RV Park currently

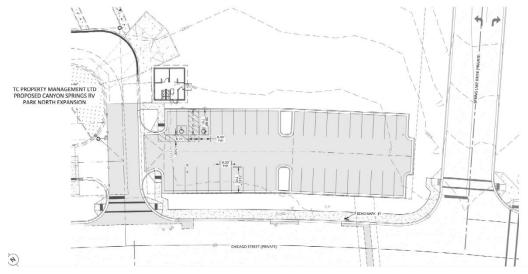
has 134 RV parking spaces within their main area. The southern expansion of the site recently took place which added an additional 29 RV parking spaces. Within the main area of the facility is a clubhouse with a registration office. The clubhouse also includes showers, restrooms, and laundry services. Near the clubhouse is a community fire pit and grassy area, dog park, and dumpster. A fishing pond is directly adjacent to the site and provides an additional amenity to guests.

Special Use Permit

As mentioned previously, the RV Park expansion will include 41 RV parking spaces. City sewer and water will be extended to the expansion area to accommodate spaces. Each space will also have the ability to connect to power. Included with the site improvements is a landscape plan that proposes trees and boulders along the Hwy 20/26 buffer.



Also included in this special use permit application is a 39-space paved parking lot which will accommodate passenger vehicles for overflow parking. Of the 39 spaces, 2 will be ADA parking spaces. A future restroom is included as well. Both the 41 RV space expansion area and the parking lot will obtain access from Chicago Street. Existing amenities for Canyon Springs RV Park will be utilized by the proposed expansion spaces. All construction will be completed per the City of Caldwell standards and requirements as outlined in City Code.



Conclusion

We are excited to bring the Canyon Springs RV Park expansion to the City of Caldwell. This project will complement surrounding uses, fulfill comprehensive plan goals, and provide additional recreation opportunities to the area. Further, Canyon Springs RV Park complements the City's vision for growth in this area and will be an asset to the community. Through providing additional RV spaces to the site, the City's commercial users will benefit from the increase in customers to the area. With the approval of this Special Use Permit, this proposed development is made possible.

Should you have questions or require further information in order to process this application, please feel free to contact me.

Sincerely,

KM Engineering, LLP.

Connor Lindstrom, CFM Senior Land Planner

cc: TC Property Management LTD

PARCEL_NO	OwnerName	Address	City	State 2	ZipCode
R34650010	TC PROPERTY MANAGEMENT LTD	PO BOX 38	DAVIS	CA	95617
R34650011	TC PROPERTY MANAGEMENT LTD	PO BOX 38	DAVIS	CA	95617
R34649	BASE LAYER CALDWELL LLC	15258 GREEN RD	CALDWELL	ID	83607
R34650011A	TC PROPERTY MANAGEMENT LTD	PO BOX 38	DAVIS	CA	95617
R34949011	TC PROPERTY MANAGEMENT LTD	PO BOX 38	DAVIS	CA	95617
R34949014	TC PROPERTY MANAGEMENT LTD	PO BOX 38	DAVIS	CA	95617
R34949014A	TC PROPERTY MANAGEMENT LTD	PO BOX 38	DAVIS	CA	95617
R34971	CALDWELL CHAPTER OF THE IZAAK WALTON LEAGUE OF AMERICA	21840 POND LN	CALDWELL	ID	83607
R34651	CANYON COUNTY	1115 ALBANY ST	CALDWELL	ID	83605
R34949	TC PROPERTY MANAGEMENT LTD	PO BOX 38	DAVIS	CA	95617
R34650	BASE LAYER CALDWELL LLC	15258 GREEN RD	CALDWELL	ID	83607

NEIGHBORHOOD MEETING LETTER

June 17th, 2025

Dear Neighbor,

RE: Neighborhood Meeting Notice for Project in your Neighborhood

To whom it may concern,

You are invited to a neighborhood meeting to discuss an application we are proposing near your property. The purpose of the meeting is to discuss the project, answer any questions, and listen to your feedback and suggestions.

Meeting Date: Wednesday, July 2nd, 2025

Meeting Time: 5pm

Meeting Location: Canyon Springs RV Resort Office: 21965 Chicago St, Caldwell, ID (see attached

map)

Project Summary: We are requesting a Special Use Permit (SUP) to allow for the expansion of Canyon Springs RV Resort. The expansion will include 41 additional RV spaces, as well as a passenger vehicle parking lot.

If you would like to contact us ahead of the meeting, please feel free to reach us at 208-639-6939. We look forward to hearing from you.

Thank you,

Connor Lindstrom KM Engineering, LLP

Vicinity Map:



NEIGHBORHOOD MEETING SIGN-IN FORM

City of Caldwell Planning and Zoning Department 621 E. Cleveland Blvd., Caldwell, ID 83605 Phone: (208) 455-3021

Start Time of Neighborhood Meeting:_	50m	- July 2nd
End Time of Neighborhood Meeting:_	- 1	/

Those in attendance please print your name and address.

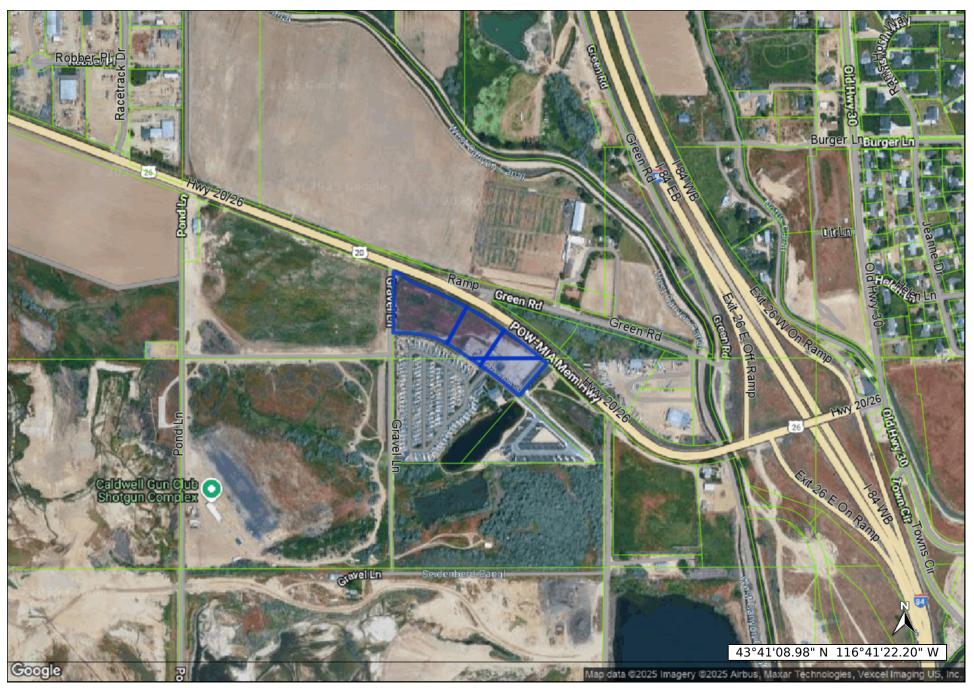
If no one attended, Applicant please write across this form "No one attended".

	PRINTED NAME	ADDRESS, CITY, STATE, ZIP
1		
2	1	
3/		
4		
5		
6		
7		
	(0	
		1
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		The
16		

NEIGHBORHOOD MEETING CERTIFICATION:

Applicants shall conduct a neighborhood meeting for the following: special use permit applications; variance applications; annexation applications; planned unit development applications; preliminary plat applications that will be submitted in conjunction with an annexation, rezone or planned unit development application; and, rezone applications as per City of Caldwell Zoning Ordinance Section 10-03-12.

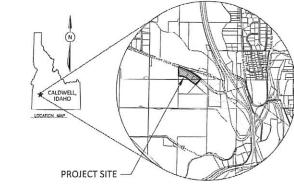
Vicinity Map - Canyon Springs RV Expansion landproDATA



Jun 30, 2025 - landproDATA.com Scale: 1 inch approx 600 feet

The materials available at this website are for informational purposes only and do not constitute a legal document.

CANYON SPRINGS RV PARK CALDWELL, IDAHO NORTH EXPANSION CONSTRUCTION PLANS



SHEET TITLE	SHEET DESCRIPTION
GENERAL IMPROVEMENT PLANS	COVER SHEET
GENERAL IMPROVEMENT PLANS	NOTES, ACRONYMS, AND LEGEND
GENERAL IMPROVEMENT PLANS	SITE IMPROVEMENT DETAILS
GENERAL IMPROVEMENT PLANS	GRADING DETAILS
GENERAL IMPROVEMENT PLANS	DRAINAGE DETAILS
GENERAL IMPROVEMENT PLANS	SEWER DETAILS
GENERAL IMPROVEMENT PLANS	WATER DETAILS
GENERAL IMPROVEMENT PLANS	PRESSURE IRRIGATION DETAILS
GENERAL IMPROVEMENT PLANS	EASEMENT SHEET
GENERAL IMPROVEMENT PLANS	HORIZONTAL CONTROL PLAN
GENERAL IMPROVEMENT PLANS	DEMOLITION PLAN
GRADING AND ROADWAY PLANS	OVERALL
SITE IMPROVEMENT PLANS	OVERALL SITE IMPROVEMENT PLAN
GRADING IMPROVEMENT PLANS	OVERALL GRADING IMPROVEMENT PLAN
STORM DRAINAGE IMPROVEMENT PLANS	OVERALL STORM DRAINAGE PLAN
STORM DRAINAGE IMPROVEMENT PLANS	STORM DRAIN ALIGNMENT A
STORM DRAINAGE IMPROVEMENT PLANS	STORM DRAIN ALIGNMENT B
STORM DRAINAGE IMPROVEMENT PLANS	STORM DRAIN ALIGNMENT C
SEWER IMPROVEMENT PLANS	OVERALL SEWER PLAN
SEWER IMPROVEMENT PLANS	SEWER ALIGNMENTS A AND B
SEWER IMPROVEMENT PLANS	SEWER ALICNMENT C
SEWER IMPROVEMENT PLANS	SEWER ALIGNMENT D
WATER IMPROVEMENT PLANS	OVERALL WATER IMPROVEMENT PLAN
IRRIGATION IMPROVEMENT PLANS	OVERALL IRRIGATION PLAN
	GENERAL IMPROVEMENT PLANS STEI IMPROVEMENT PLANS STORM DRAINAGE IMPROVEMENT PLANS STORM DRAINAGE IMPROVEMENT PLANS STORM DRAINAGE IMPROVEMENT PLANS STORM DRAINAGE IMPROVEMENT PLANS SEWER IMPROVEMENT PLANS

BENCHMARK (NAVD 88 DATUM)					
POINT NUMBER	POINT STYLE	NORTHING	EASTING	ELEVATION (NAVD 88)	DESCRIPTION
1	e _{rk}	739153.0000	2373331.8700	2351.979	PK NAIL
2	e pK	739057.2360	2373381.5270	2351.490	PK NAIL
3	0	739758.6320	2372730.9560	2353.071	1/2" REBAR
13	0	739268.2820	2373591.4460	2358.044	1/2" REBAR

CONTRACTOR SHALL VERIFY ALL BENCHMARKS PRIOR TO BEGINNING CONSTRUCTION AND SHALL NOTIFY ENGINEER WITH ANY DISCREPANCIES.

CONTOURS AND BENCHMARK ELEVATIONS ARE BASED ON THE NAVO 88 VERTICAL DATUM. CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION STAKING.

Name - Co	
BENCHMARK \$3	
	e)_
Congration	8
GRAVEL LANE (PUBLIC)	B
General Control of the Control of th	GREFN ROAD (PUBLIC)
	South State of the
" PROPOSED NORTH	MGMMAV 2015 FORMUCE
RV EXPANSION	756 PUBLICO
21 22 20	
31 9	
CHICAGO ST (FUTURE EXPANSION)	
23 29 55 STOPMISON	
EXISTING CANYON SPRINGS RV PARK	
	BENCHMARK #13
	PARKING LOT TO BE CONSTRUCTED FIRST
	(SEPARATE PLAN SET)
0 50 100 150 Plan/Profile Scale: 1" = 50'	BENCHMARK #1
LEGAL DESCRIPTION A PORTION OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF	Marica.
A PORIION OF THE NORTH 1/2 OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 16, TOWNSHIP 4 NORTH, RANGE 3 WEST, BOISE MERIDIAN, CITY OF CALDWELL, CANYON COUNTY, IDAHO	70,00
BASIS OF BEARINGS THE BASIS OF REARINGS FOR THIS SURVEY WAS ESTABLISHED BY GPS	BENCHMARK #2
THE BASIS OF BEARINGS FOR THIS SURVEY WAS ESTABLISHED BY GPS TECHNIQUES, PROJECTED TO THE IDAID STATE PLANE COORDINATE SYSTEM, NAD 83 DATUM, WEST ZONE ALL BEARINGS SHOWN ARE ON GRID AZIMUTH AND ALL DISTANCES SHOWN ARE AT GROUND. THE BEARING FROM THE FOUND BRASS CAP MONUMENT MARKING THE FAST ATH CORPER COMMON TO SECTIONS	W. L.
BRASS CAP MONUMENT MARKING THE EAST ATH CORNER COMMON TO SECTIONS 16 AND 9 TO THE FOUND ALUMNUM CAP MONUMENT MARKING THE NORTHEAST CORNER OF SECTION 16 IS SOUTH 89'30'11" EAST, AT A GROUND DISTANCE OF 1,329.79 FEET.	
SITE DESCRIPTION	CONTACT INFORMATION ENGINEERING CONSULTANT APPLICANT / DEVELOPER
TOTAL NUMBER OF RV SPACES TOTAL ACRES 41 SPACES 8.00 ACRES	KM ENGINEERING, LLP 7C PROPERTY MANAGEMENT, LTD 7725 NORTH DISCOVERY WAY 801SE, IDAHO 83713 801SE, IDAHO 83713 901SE, IDAHO 83713 PIONIC: (2008) 639-6939 PIONIC: (2008) 639-6939 PIONIC: (2008) 639-6930 COMPACT: ED CALDWELL CONTACT: DEC PACCHNER P.E. EMAL: TEDCALDWELLSSGGLOBAL.NET
	Total



GENERAL IMPROVEMENT PLANS
COVER SHEET
SITE MAP, VICINITY MAP, SHEET INDEX

CANYON SPRINGS RV PARK CALDWELL, IDAHO

Digitally signed by Joe Pachner, P.E. Date: 2024.07.16

3 2 2

PHONE (208) 639-6939 kmenglip.com			
IGN BY:	IN		
AWN BY:	DMZ/AI		
CKED BY:	JN.		
TE:	5/21/202		

GENERAL NOTES

- THE CONTRACTOR SHALL CONSTRUCT ALL IMPROVEMENTS IN ACCORDANCE WITH THE PLANS STAMPED "APPROVED FOR CONSTRUCTION" BY ALL REQUIRED COVERNING ACENCIES, THESE PLANS WILL BE PROVIDED TO THE CONTRACTOR BY THE CHINECTE PROR TO CONSTRUCTION, WORK SHALL HOT DE DONE WITHOUT THE CURRENT SET OF APPROVED PLANS.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS (ISPRIC), PROPOSED ACCESSIBILITY GUIDELINES FOR PEDESTRIAN FACILITIES IN THE PUBLIC RIGHT—OF—WAY, AND THE CITY OF CALDMELL SUPPLEMENTAL SPECIFICATIONS, WHERE DISCREPANCIES EXIST BETWEEN THESE SPECIFICATIONS THE MORE STRINGENT OF THE THREE SHALL BE
- WORK SUBJECT TO APPROVAL BY ANY POLITICAL SUBDIVISION OF AGENCY MUST BE APPROVED PRIOR TO
 (A) BACKFILLING TRENCHES FOR PIPE (B) PLACING OF AGGREGATE BASE (C) PLACING OF CONCRETE;
 (D) PLACING OF ASPHALT PAVING, WORK DONE WITHOUT SUBHAPPROVAL SHALL NOT RELIEVE THE
 CONTRACTOR FROM THE RESPONSIBILITY OF PERFORMING THE WORK IN AN ACCEPTABLE WANNER.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BY CALLING DICLINE AT PHONE # (800) 342-1585 BEFORE COMMENCING WORK, THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING UNDERGROUND UTILITIES.
- OTLITIES ON THIS PLAN ARE BASED UPON DICINE MARKS, RECORD DRAWINGS, AND FACILITY MAPS, KM ENGINEERING MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL UTILITIES IN THE AREA, EITHER IN SERVICE OR ABNONDED. FURTHER, KM ENGINEERING DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED AND HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THE CONTRACTOR SHALL THAT EXPERY PRECAUTION TO PRESENCE AND THE UNDERGROUND UTILITIES. THE CHARGE SHOWN ARE IN THE CHARGE SHOWN TO PRISE CHARGE THE UNDERGROUND UTILITIES. THE CHARGE SHALL THAT EXPERY PRECAUTION TO PRESENCE AND THE CHARGE SHOWN AND SHALL THE EXPERY PRECAUTION TO PRESENCE AND THE CHARGE SHOWN AND THE PROJECT AND THE PROJECT SHOWN AND
- 6. ALL LOT LINE AND EASEMENT INFORMATION SHALL BE TAKEN FROM CANYON SPRINGS RY PARK FINAL
- THE CONTOURS AND BENCHMARK ELEVATION ARE BASED ON THE NAVD 88 VERTICAL DATUM.
 PROJECT BENCHMARKS SHALL BE ESTABLISHED THROUGHOUT THE SITE BY THE SURVEYOR AND WILL BE PROVIDED TO THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL PROTECT ALL SURVEY MONUMENTS AND BENCHMARKS FROM DISTURBANCE THROUGHOUT CONSTRUCTION. DAMAGED BENCHMARKS WILL BE REPLACED BY THE PROJECT SURVEYOR
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE SAFETY REQUIREMENTS OF MAY JURISDICTIONAL BODY. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES AND TRAFFIC CONTROL WITHIN AND AROUND THE CONSTRUCTION AREA.

 11. THE CONTRACTOR SHALL LIMIT CONSTRUCTION ACCESS TO THE OWNER APPROVED ACCESS POINTS.
- ALL NATURAL SLOPES SHALL BE A MAXIMUM OF 2:1, UNLESS OTHERWISE STATED ON THIS PLAN. ASPHALT MINIMUM GRADE IS 1%. CONCRETE MINIMUM GRADE IS 0.4%. FINISH GRADE SHALL SLOPE AWAY FROM ALL BUILDING.
- WHERE NOTED, EXISTING TEST PITS/MONITORING WELLS SHALL BE RETAINED AND PROTECTED DURING CONSTRUCTION.
- 14. ALL MATERIAL FURNISHED ON OR FOR THE PROJECT MUST MEET THE MINIMUM REQUIREMENTS OF THE APPROVING AGENCIES OR AS SET FORTH HEREIN, WHICHEVER IS MORE RESTRICTIVE. CONTRACTORS MUST FURNISH PROOF THAT ALL MATERIALS INSTALLED ON THIS PROJECT MEET THE REQUIREMENTS AT THE REQUEST OF THE AGENCY AND/OR THE ENGINEER.
- 15. JOINT TRENCH CONDUIT WITH PULL CORD, 32" BURIAL DEPTH (PER SL-1136).
- 16. THE ENGINEER OF RECORD (DESIGN CIVIL ENGINEER) SHALL BE RESPONSIBLE FOR PROVIDING THE
- -CONSTRUCTION OBSERVATIONS (INSPECTIONS) AT SUFFICIENT INTERVALS TO INSURE THAT ALL CONSTRUCTION HAS BEEN COMPLETED IN ACCORDANCE WITH THE PLANS, I.S.P.W.C. AND CITY OF CALDWELL STANDARDS.
- CALDWELL STANDARDS.

 -CONSTRUCTION OBSERVATION DIARY (INSPECTION LOCS)

 -REPRODUCIBLE (MYLAR) RECORD DRAWINGS

 -ENGINEERS STATEMENT (ENDINEERS CERTIFICATE)

 -ENGINEERS CERTIFICATION (STAMPED & SIGNED)
- 17. NO ASPHALT SHALL BE PLACED WITHOUT ENGINEER AND DEVELOPER FIRST RECEIVING AN APPROVAL TO PAVE LETTER FROM THE CITY OF CALDWELL.
- ALL VALVE CANS, WATER METERS, AND MANHOLES SHALL BE LOCATED OUTSIDE ALL CURB, GUTTER, SIDEWALKS, AND VALLEY GUTTERS.
- ALL PEDESTRIAN ACCESS ROUTES AND FACILITIES MUST FULLY COMPLY WITH ALL LOCAL, STATE, AND FEDERAL GUIDELINES/REQUIREMENTS.

GRADING NOTES

- NO GRADING WORK SHALL OCCUR UNTIL THE OWNER HAS FILED A NOTICE OF INTENT FOR CONSTRUCTION ACTIVITY WITH THE EPA.
- ALL EARTHWORK INCLUDING CLEARING, GRUBBING, EXCAVATION, EMBANKMENT, BACKFILL, DEWAT AND EROSION CONTROL SHALL MEET THE SPECIFICATIONS OF SECTION 200 OF THE ISPNC AS AS THE SPECIFICATIONS AND RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEERING REPORT.
- UNIAL IEMPORARY AND/OR PERMANENT DRAINAGE IMPROVEMENTS ARE IN PLACE AND FUNCTIONING. IF REQUIRED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR BETAINING A SHORT TERM ACTIVITY EXEMPTION FERMIT FROM THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY (DEG). THE CONTRACTOR SHALL SUBMIT TO DEG A DEWATERING PLAN WHICH OUTLINES THE LOCATION OF PROPOSED BMPS AND THE SEQUENCING OF THE DEWATERING STATUTIES. ALL CONSTRUCTION WATER STEERARCH PROME EXCANDIGN SHALL BE FREE OF SEDIMENT AND DEBMIS BEFORE IT LEAVES THE
- SITE.

 STRIP AND STOCKPILE TOPSOIL AND DISPOSE OF DEBRIS OFF-SITE. THE DEPTH OF STRIPPING COULD VARY IN THE RIELD DEPENDING ON THE DEPTH OF THE ROOT ZONE, SOIL COMPOSITION INCLUDING SOIL TYPE, MUSICINE CONLINENT AND STABLING AND THE WEATHER CONDITIONS DURING CONSTRUCTION, STRIPPING DEPTHS SHALL BE DIRECTED BY THE ONSITE GENERALD CONSULTANT, LOCATION OF THE CONTROL OF THE CONTROL

DEMOLITION NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING DEMOLITION WITH THE APPROPRIATE PHASE OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEMOLISHED MATERIALS AT AN APPROVED OFT-SITE LOCATION. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THESE MATERIALS AFTER REMOVAL FROM THE STE.
- CONTRACTOR SHALL BE REQUIRED TO PROVIDE A WATER TRUCK, AS NECESSARY, FOR DUST ABATEMENT DURING DEMOLITION AND REMOVAL OPERATIONS.
- CONTRACTOR SHALL CONDUCT CONSTRUCTION OPERATIONS TO PREVENT ANY SOIL OR OBJECTIONABLE MATERIAL RUNOFF FROM LEAVING THE SITE, OR ENTERING THE PUBLIC RICHTS-OF-WAY.
- ITEMS SHOWN ON THE EXISTING CONDITIONS PLAN REPRESENT THE SITE PRIOR TO CONSTRUCTION
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO DETERMINE WHICH TREES WITHIN THE PROJECT LIMITS ARE TO REMAIN AND WHICH ARE TO BE REMOVED.
- ALL WELL ABANDONNENT SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE IDAHO DEPARTMENT OF WATER RESOURCES (IDWR) AND IDAHO CODE. THE CONTRACTOR SHALL RETAIN A LICENSED WELL DRILLER FOR ABANDONNENT.
- EXISTING OVERHEAD POWERLINES SHALL BE RETAINED AND PROTECTED AS NEEDED TO MAINTAIN SERVICE TO ADJACENT PROPERTIES. THE CONTRACTOR SHALL COORDINATE WITH IDAHO POWER COMPANY IT ADAMAND ON DEFOUR ALL BLIFF OWERWARD POWER TIMES AND POLES AS REQUIRED.

CITY OF CALDWELL WATER NOTES

- THE WATER SYSTEM SHALL BE CONSTRUCTED TO CONFORM TO THE STANDARDS SET FORTH IN THE DOAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS*, THE 2015 EDITION OF THE IDAHO STANDARD FOR PUBLIC WORKS CONSTRUCTION (SPOK), THE CITY OF CALDMELL SUPPLEMENTAL SPECIFICATIONS THE ISPWC, AND THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ).
- THE HORIZONIAL SEPARATION OF POTABLE WATER MAINS AND NON-POTABLE WATER MAINS (SANTIARY SEVER, STORM DRAIN, AND IRRICATION) SHALL BE A MINIMUM OF TEN (10) FEET, WHERE IT IS KECSSAMY FOR A POTABLE WATER MAIN NO NON-POTABLE WATER MAIN NO TO GROSS WITH LESS THAN EIGHTERN (18) NOCHES OF VERTICAL SEPARATION, THE CROSSING SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 54.07 OF THE DUAD FULLS FOR PUBLIC CRINKING WATER SYSTEMS (IDAPA 58.01.08) AND SECTION 430.02 OF THE WASTEWATER RULES (IDAPA 58.01.16).
- THE HOSCONIAL SEPARATION OF NON-FOTABLE SERVICES AND POTABLE WITE SERVICES ON POURIE WHERE THIS SHALL BE ANNIMAN OF SERVICES OF POURIE WHERE TO SECRESHET FOR A POTABLE WHERE MAIN AND NON-POTABLE WHERE MAIN TO CROSS WHITE MAIN AND NON-POTABLE WHERE MAIN TO CROSS WHITE MAIN TO CROSS WHITE WHERE THE SERVICES OF THE SEPARATION, THE CROSSING SHALL BE CONSTRUCTED IN ACCORDANCE WHITE SECTION 420.7 OF THE IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS (IDAPA 58.0.1.08) AND SECTION 430.02 OF THE WASTEWATER RULES (IDAPA 58.0.1.16).
- WATER DISTRIBUTION MAINS SHALL BE CONSTRUCTED WITH CLASS 150 PVC (POLYVINYL-CHLORIDE) PIPE, CONFORMING TO AWAY G-900, SDR 18 SPECIFICATIONS. THE PIPE SHALL BE INSTALLED IN WORKMANLINE MAINER BY PREPONDS GUALIFIED TO PERFORM SHAD WORK AND SHALL BE IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ALL WORK AND MATERIALS MUST CONFORM TO CURRENT REQUIREMENTS OF THE DISTRICT.
- CONNORM TO COMPRENT REQUIREMENTS OF THE DISTRICT.

 ALL WAIRE MAINS SHALL HAVE A MINIMUM OF FOUR (4) FEET OF COVER AND A MAXIMUM DEPITH OF FIVE (5) FEET, UNLESS OTHERWISE NOTED. AFTER INSTALLATION OF THE WATER MAINS, THE TRENCHES SHALL BE COMPACTED TO NINETY-FIVE (65) FEECENT OF STANDARD PROCTOR MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-698. ALL MAINS SHALL BE PRESSURE TESTED, FLUSHED AND DISINFECTED IN ACCORDANCE WITH THE CURRENT EDITION OF THE SEYMC AND CITY OF CALDWELL SUPPLEMENTAL SPECIFICATIONS TO THE ISSIPPLE, STETCH.
- INSTALL THRUST BLOCKS CONFORMING TO THE 2015 EDITION OF THE ISPWC, SD-403, AT ALL TEES, CROSSES, VALVES, HYDRANTS, AND ELBOWS 11-1/4" AND GREATER OR APPROVED RESTRAINTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CONTINUOUS WATER SERVICE TO ALL EXISTING WATER USERS AFFECTED BY CONSTRUCTION. IF WATER SERVICE MUST BE INTERRUPTED, THE CONTRACTOR SHALL COORDINATE WITH THE "PUBLIC WORKS, INSPECTOR.
- THE CITY OF CALDWELL WATER DEPARTMENT SHALL MAKE ALL HOT TAPS ON EXISTING WATER MAINS. THE CITY OF CALDWELL WATER DEPARTMENT SHALL BE PRESENT WHEN OPERATING EXISTING "IN SERVICE" WATER VALVES. THIS INCLUDES FLUSHING OF MAINS AND ALL PRESSURE AND WATER QUALITY
- CONTRACTOR SHALL BLOW OFF EACH DOMESTIC WATER SERVICE WITH CITY INSPECTOR PRESENT PRIOR TO ACCEPTANCE OF THE WATER SYSTEM.
- 12. THE CONTRACTOR SHALL PRESSURE ALL WATER LINES AFTER DISINFECTION AND FLUSHING, BUT PRIGHT OF MICHAELANDIN OF OTHER UTILITIES. AFTER ALL THIRES ARE INSTALLED AND PRIOR TO PAUNG, PRIOR TO PAUNG, ATTENDANCE. THE CONTRACTOR SHALL PURPOSE ALL PERSONNEL AND EQUIPMENT NECESSARY TO CONDUCT THE TEST CONTRACTOR SHALL NOTIFY THE CITY OF CALDWELL AND PROJECT ENGINEER 24 HOURS IN ADVANCE TO WINKESS FINAL PRESSURE LEST.
- 13. FINAL ACCEPTANCE OF ALL WATER UTILITY CONSTRUCTION WILL BE BY THE CITY OF CALDWELL
- METER BOX LID (COVER) SHALL BE D&L 2242 WITH NEPTUNE R900 RECESS OPENING (ONE (1) 1-1/2" OPENING). 2-HL RECESS COVER FOR DOUBLE SERVICES.
- ALL ONSITE SEWER AND WATER SERVICES REQUIRE A PLUMBING PERMIT AND SHALL BE REVIEWED AND APPROVED BY THE BUILDING DEPARTMENT PRIOR TO STARTING ANY CONSTRUCTION ONSITE.

CITY OF CALDWELL SEWER NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE PROVISIONS OF THE 2015 EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (1980-0), CITY OF O-ELDWELL SUPPLEMENTAL SPECIFICATIONS TO THE ISPNC, WASTEWARDER RULES (IDAPA 58.01.16), AND ANY SPECIAL PROVISION FOR CURSINGLION INSURED BY THE DESIGN ENGINEER, WHERE REQUIRED, PRECEDENCE SHALL BE GIVEN TO EACH STANDARD IN GROBE NOT FIERE LISTING ABOVE WITH RESPECT TO ANY DISCREPANCIES.
- REFER TO WATER NOTES 2 AND 3 ON THIS SHEET FOR HORIZONTAL AND VERTICAL SEPARATION REQUIREMENTS BETWEEN THE POTABLE WATER MAINS/SERVICES AND NON-POTABLE PRESSURE IRRIG MAINS/SERVICES.
- 3. FINAL APPROVAL AND ACCEPTANCE OF ALL SEWER CONSTRUCTION WILL BE BY CITY OF CALDWELL.
- CITY OF CALDWELL WILL NOT ACCEPT ASBUILT LINES CONSTRUCTED LESS THAN THE "10 STATES STANDARDS DESIGN MINIMUM SLOPES.
- 5. ALL EXISTING SERVICES USED FOR THE CURRENT PHASE SHALL BE EXPOSED AND SHOWN TO THE CITY DISPERSION.
- ALL ONSITE SEWER AND WATER SERVICES REQUIRE A PLUMBING PERMIT AND SHALL BE REVIEWED AND APPROVED BY THE BUILDING DEPARTMENT PRIOR TO STARTING ANY CONSTRUCTION ONSITE.

TRAFFIC CONTROL NOTES

- AL, WORK SHALL CONFORM TO THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" FOR STREETS AND HIGHWAYS, THE 2015 EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPWC), AND THE CITY OF CALDWELL SUPPLEMENTAL SPECIFICATIONS TO THE ISPWC FOR STREETS AND HIGHWAYS.
- 2. ALL WARNING FLAGS AND FLASHERS SHALL BE CONSIDERED INCIDENTAL TO THE TRAFFIC CONTROL BID
- THE FLAGGERS SHALL BE EQUIPPED WITH TWO WAY RADIOS CAPABLE OF TRANSMITTING A DISTANCE OF 2 MILES AND BATTERIES TO LAST THROUGH EACH DAY OF OPERATION.
- SIGNS AND SIGN STANDS NOT IN USE SHALL BE REMOVED OR LAID DOWN AT LEAST 15 FEET FROM THE EDGE OF THE TRAVEL WAY.
- 5. ONE LANE OF TRAFFIC SHALL BE OPEN TO LOCAL TRAFFIC AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE ALL SIGNAGE NECESSARY TO ALERT THE SURROUNDING PUBLIC OF THE CONSTRUCTION TAKING PLACE. THE CONTRACTOR ASSUMES RESPONSIBILITY FOR THE SIGNS NEEDED FOR PUBLIC SAFETY.
- ALL CONTRACTORS WORKING WITH THE PUBLIC ROAD RIGHT-OF-WAY ARE REQUIRED TO SECURE A RIGHT-OF-WAY CONSTRUCTION PERMIT FROM CANYON HICHWAY DISTRICT NO. 4 AT LEAST TWENTY-FOUR (24) HOURS PRIDE TO ANY CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE A DETAILED TRAFFIC CONTROL PLAN TO CANYON HIGHWAY DISTRICT NO. 4
 FOR APPROVAL PRIOR TO ANY CONSTRUCTION.

CITY OF CALDWELL STORM WATER NOTES

- THE CONTRACTOR SHALL COMPLY WITH ALL THE REQUIREMENTS FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY. THIS INCLUDES IMPLEMENTING THE BUR'S RECOMMENDED IN THE SWIP PLAIN PERSANDED FOR THIS STIET, REQULAR STIE INSPECTIONS, DOCUMENTATION OF MODIFICATIONS TO THE SWIPPP AND OTHER REQUIREMENTS AS SET FORTH IN THE NIPDES GENERAL PCITMIT.
- A FROOF TEST OF ALL STORM WATER BASINS WILL BE REQUIRED PER CITY OF CALDWELL STORM WATER MANUAL 103.6.5. INSPECTOR SHALL BE NOTIFIED 48 HOURS IN ADVANCE.

CITY OF CALDWELL PRESSURE IRRIGATION NOTES

- ALL PRESSURE IRRIGATION CONSTRUCTION SHALL COMPLY WITH THE CALDWELL MUNICIPAL IRRIGATION STANDARDS, FIFTH EDITION, MARCH 2021.
- CONTRACTOR SHALL BLOW OFF EACH PRESSURE IRRIGATION SERVICE WITH CITY INSPECTOR PRESENT PRIOR TO ACCEPTANCE OF THE IRRIGATION SYSTEM.
- 4. MAIN LINE COVER SHALL BE A MINIMUM 38" AND MAXIMUM OF 48" PER 1103.1.
- 5. TRACER WIRE SHALL BE INSTALLED PER SECTION 1103.02.
- 6. FINDER TAPE SHALL BE INSTALLED PER SECTION 1103.03.
- FACH PRESSURE IRRIGATION SERVICE SHALL HAVE A "NON-POTABLE WATER" (AKA, "YUCK" TAG) PER SECTION 1103.08 (IF APPLICABLE).

ACRONYMS

- CENTERLINE
- CLEANOUT
- CASTING
- LECATION
- EDGE OF PAVEMENT
- EXISTING GRADE
- ELEVATION
- ELOW LONE
- FLOW LINE
- FLANGE
- GRAVITY IRRIGATION
- HIGH FOINT
- IDAHO STANDARDS FOR PUBLIC WORKS
- CONSTRUCTION
- STAINON OFFSET LEFT
- LINEAR FOOT
- LIP OF GUTTER
- MATCH EXISTING
- MECHANICAL LININ - MATCH EXISTING
- MCCHANICAL JCINI
- MONITORING WELL
- MORITHING
- OVERHEAD POWER
- POINT OF CURVATURE
- PRESSURE IRRIGATION
- PRESSURE SEMER
- POINT OF TANDENCY
- STATION OFFSET RIGHT
- RIM OF STRUCTURE
- SIOKM DHAIN NIM OF STROUTORE
STORM DRAIN MANHOLE
SAND AND GREASE TRAP
SANITARY SEWER
SEVER MANHOLE
ROADWAY STATION FROM CENTERLINE
SIDEWALK
SIDEWALK
SEVER MANHOLE
ROADWAY STATION FROM CENTERLINE
SIDEWALK
SIDEWALK
SEVER SEVER SEVER - SIDEWALK
- IOP BACK OF CURB
- TOP BACK OF ROLLED CURB
- TOP BACK OF REVERSE FLOW ROLLED CURB
- TOP OF CONCRETE

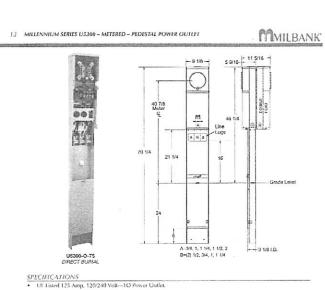
LEGEND - - BOUNDARY LINE - - OFFSITE BOUNDARY LINE SETBACKS ____ LIMITS OF GRADING - ROAD CENTERLINE - LOT LINE LINE ----- EASEMENT - PRESSURE IRRIGATION LINE FOUND 1/2 INCH REBAR - GRADE BREAK FOUND 5/8 INCH REBAR SEWER MANHOLE SEWER CLEANOUT (4) FOUND ALUMINUM CAP GROUNDWATER OBSERVATION WE CALCULATED POINT SAND AND GREASE TRAP DROP INLET an . EXISTING IMPROVEMENTS STORM DRAIN MANHOLE - SANITARY SEWER LINE × WATER VALVE WATER METER GAS LINE 0 FIRE HYDRANT Or OP OVERHEAD POWER LINE ____w___w___ SINCLE WATER SERVICE GRAVITY IRRIGATION LINE DRAINAGE ARROWS 2713 ____ SEWER MANHOLE FINISH GRADE CONTOUR WATER VALVE CONCRETE WATER METER @ ↓ LANDSCAPING FIRE HYDRANT POWER POLE SEEPAGE BED POWER BOX ASPHALT RY PAD EDGE OF PAVEMENT EDGE OF GRAVEL ASPHALT ROADWAY TREE DECIDUOUS FUTURE CHICAGO ST EXTENSION REVERSE FLOW CURB AND GUTTE EXISTING GRADE CONTOUR



IMPROVEMENT PLANS ACRONYMS, AND LEGEND CANYON SPRINGS RV PARK CALDWELL, IDAHO ENERAL I

25 NORTH DISCOVERY W BOISE, IDAHO 83713 PHONE (208) G39-G939 kmenglip.com

RAWN BY: HECKED BY: 5/21/2024



Short circuit current withstand rating 10,000 RMS symmetrical uniperes

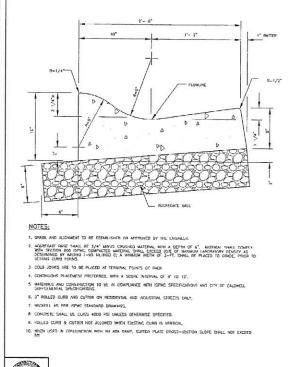
- Type 3R welded enclosure for durable outdoor use
- Enclosure constructed with galvanized 16 gauge steel.
- Direct burial or pad mounted post constructed with 14 gauge galvanized steel. Two removable front covers for ease of installation. Accepts up to (3) Z 1/2" conduits.
 ASA 61 grey polyester provider coat finish.

- . Three position self-grounded receptacle bridge accepts most standard NEMA receptacles with mounting plates.
- Four terminal, drawn ring type meter socket with aluminum sealing ring.

 Components factory wired with stranded copper wire.
- Lockable hinge cover and dead from are removable for installation and maintenance. Stay-open hinge cover has safety interlock on dead front. Dead front must be removed before hinge cover can be removed. Low wattage, 120 Volt fluorescent site light available. Factory or field installable.
- Unit weight: Single-53 lbs Double-80 lbs.

(VL) 13

DETAIL 1 - TYPICAL ELECTRICAL BOX



ELECTRICAL PEDESTAL - RV PAD

NOT TO MAKE

THROM, A (B) LOCATION, HILBANK + SERIES INDOO, INSTITUTE
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Customer Requirements for Electric Service

When a building or structure is supplied by more than one set of service conductors, a permanen plaque or directory is required at each service location denoting all other services supplying that building or structure and the area served by each.

Each meter base or zervice disconnect that's part of an installation with multiple meters is required to use a <u>germanent nameelate or placard</u> to clearly mark the numbers and/or letters that correspond to the address, suite, office, or room it zerves. In addition, mark the corresponding service equipment at each temast space—tho marking may be hand-written inside the equipment.

ACCEPTABLE

Service Identification

Meter Base Labeling

UV resistant phenolic nameplate

UV resistant Gravoply nameplate

Stainless steel or brass nameplate

NOT ACCEPTABLE

PFXAF Premium Series Frost Proof Yard Hydrants

- · Lever control with variable flow
- . Heavy-duty solid no lead brass hose adapter
- Pipe and rod are galvanized to prevent rust

 Head and lever can be padlocked when not in use to prevent unauthorized use

 Crains below the trost line once hydrant is shut off

 Inlet: 3/4" NPT in no lead brass casting

- . Outlet: 3/4" no lead brass hose thread
- Stainless steel operating rod thru tellon packing
 Automatic self-adjusting plunger
 1" galvanized pipe and 7/16" galvanized operating rod

. Overall length is 34" plus bury depth (bury depth is stenciled on pipe) Parts Available

PFXAFHDL - Lever control (A)

PFAF7500RK

Repair Kit for PFAF7500 Series Yard Hydrant includes one each of the following:

- Draw straps (pair)

- Yaive stem packing

- Pivot connector and nuts

- Plunger assembly



0 5 19 15 20 25 30 35 40 45 5



DETAIL 2 - YARD HYDRANT WATER SERVICE



B - Draw Straps C - SS Operating Rod D - Heavy-Duty Solid No Lead Brass Hose Adapter E - Extra Thick Walled

Head Casting





LEAD

Distributed Exclusively by Ferguson. Stock Building Supply and Wolseley Canada

PFXAF SERIES

DETAIL 3 - LIGHT POST

Your Store: Achaville #3625 apr

PRODUCT DESCRIPTION

Your Store: Asheville #3625

PRODUCT DESCRIPTION

Progress Lighting Black 7 ft. Exterior Lighting Post with Ladder Rest

\$87.21 /EA-Each

Glomer Briton Textured Black 1-Light 14in, Post Lantern with Clear Glass-HD-548 at The Home Depot

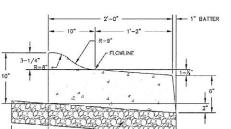
Lantern with Clear Glass

Boy Online Ship to Store

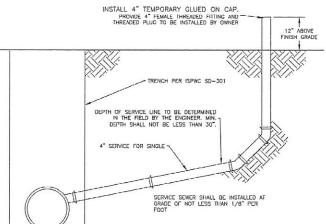
\$31.99 /EA-Each

Glomar Briton Textured Black 1-Light 14in. Post

THE SHIP TO STORE OR HOME. NOW AVAILABLE ON OVER 300,000 ITEMS.



DETAIL 5 - 3" ROLLED REVERSE-FLOW CURB & GUTTER

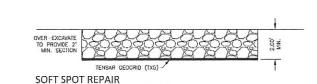


RISER -CURB STOR WATER MAIN

WATER SERVICE HYDRAN PER TYPICAL WATE SERVICE DETAIL THIS SHEE

RISER LID -

DETAIL 7 - INDIVIDUAL WATER SERVICE CONNECTION



TRACK EQUIPMENT ONLY FOR REPAIR WORK

2. CONTRACTOR TO NOTIFY ENGINEER PRIOR TO REPAIRING ANY SOFT AREAS

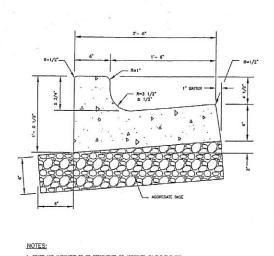


DETAILS

SITE IMPROVEMENT PLANS
IMPROVEMENT STANDARD DRAWINGS AND CANYON SPRINGS RV PARK CALDWELL, IDAHO

AWN BY HECKED BY 5/21/2024

C1.2



1. GRADE AND AUGHMENT TO BE ESTABLISHED OR APPROVED BY THE ENCINCER.

ACCRECATE BASE CHALL RE JA" MANIS CRUSHED MATERIAL BRITI A EDITI OF 6". MATERIAL CHARLE
WITH SECTION 400 HENRIC COMPACTED MATERIAL SHALL EXCEED 1985 OF MONHAU MERCATORY TODGETY AS
BETERANCO DY AMPRIO T-99 METHOD C; A MERMAN WOTH OF J-TL SHALL DE PLACED TO GRUDE, PRODR TO
STITING CURS POPALS.

3. COLD JUNES ARE TO BE PLACED AT TERMINAL POINTS OF RADIL

4. CONTINUOUS PLACEMENT PRETENDED, WITH A SCORE INTERNAL OF 8' TO 12',

5. MATERIALS AND CONSTRUCTION TO BE IN COMPUNICE WITH ISPIRE SPECIFICATIONS AND CITY OF CALIBELL
SUPPLIESTING. SPECIFICATIONS

AND CITY OF CALIBELL

CURB AND GUTTER

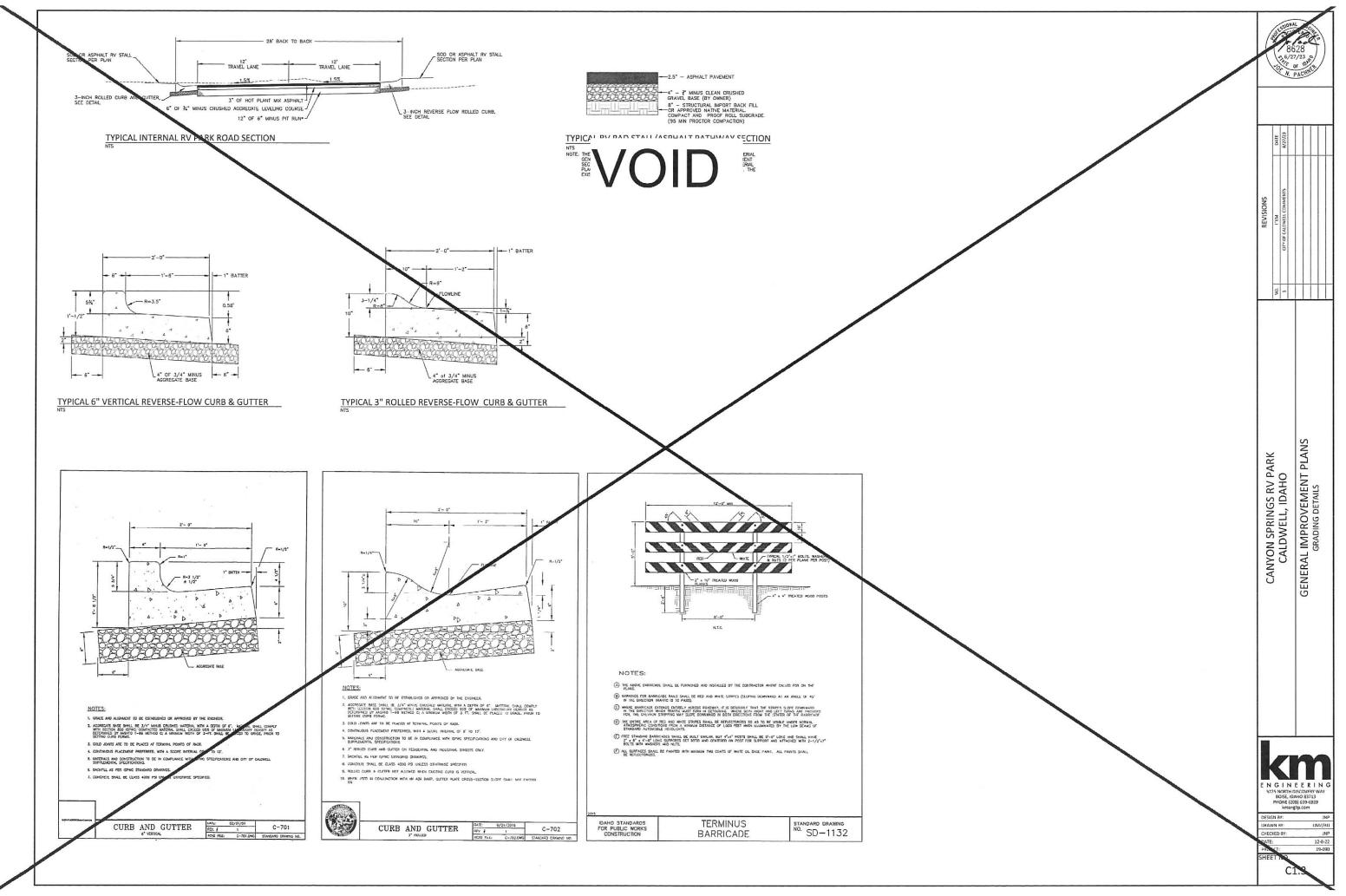
5¾" 1'-1/2"

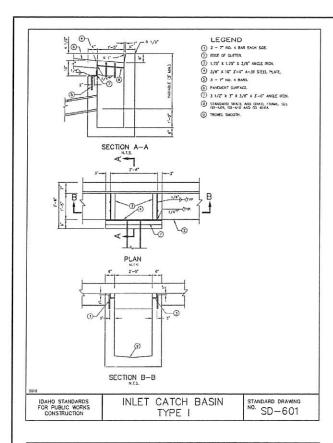
DETAIL 4 - 6" VERTICAL REVERSE-FLOW CURB & GUTTER

DETAIL 6 - SEWER SERVICE CONNECTION

BACKFILL AS PER ISPNC STANDARD DRAWNES.
 CONCRETE SHALL BE CLASS 4000 PSI UNLESS OTHERWISE SPECIFIED.

03/01/04 C-701 CURB AND GUTTER





NOTE:

TOP OF COLLAR TO BE FLUSH
WITH MANHOLE COVER.

DETAIL A

STANDARD DRAWING NO. SD-616

B) FIBER-REINFORCED CONCRETE MAY BE USED IN LIEU OF REDAR WITH ENGINEER'S APPROVAL.

SECTION A-A

MANHOLE COLLAR

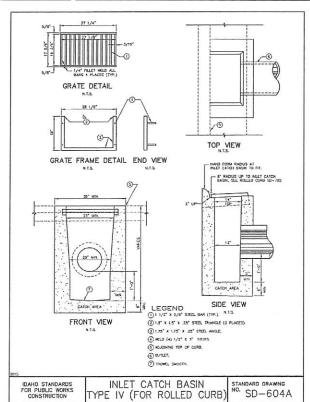
LEGEND

IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION

PA REBAR AT 20" SPACING.
 COORES.
 HAM.
 FRAME AND COMER PER 1D-617.
 SEE "GETAL A" FOR REBAR IN COLLAR.
 FINISHED CRADE.

SEE OTHER STANDARD DRAWINGS OF MANHOLES FOR MAXIMUM HEIGHT.
 GROUT RETWEEN BING AND COVER AND CRADE RINGS.

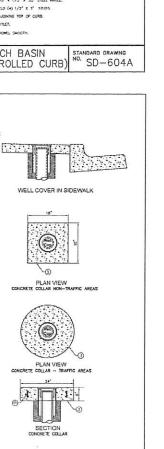
(i) FRIBILIATED POLYPROPYLENE FIBER (ADDED PER MANUFACTURER'S RECOMMENDATIONS) MAY BE USED IN LIEU OF 14 REBAR IN CONCRET COLLARS.



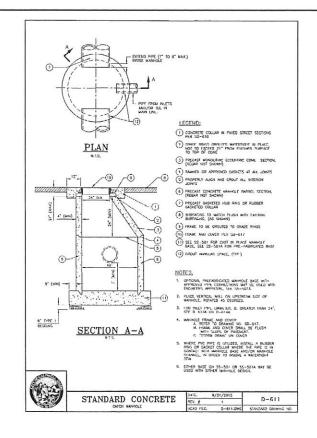
WELL SECTION

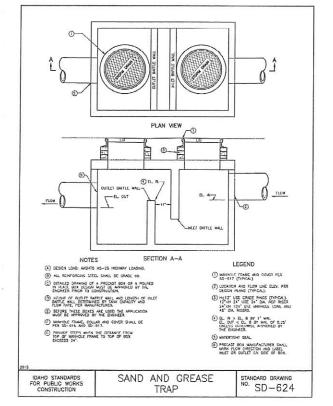
IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION GROUND WATER

OBSERVATION WELL



STANDARD DRAWING NO. SD-627





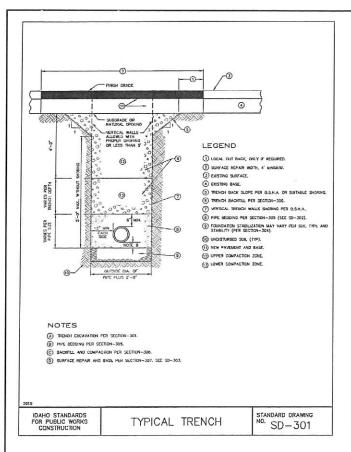


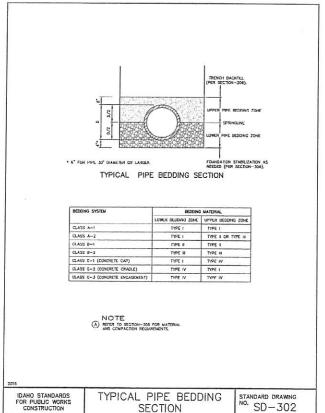
	DATE	6/27/23	2/1/24			
REVISIONS	ITEM	CITY OF CALDWELL COMMENTS	CITY OF CALDWELL COMMENTS			
	NO.	1	2	+	I	

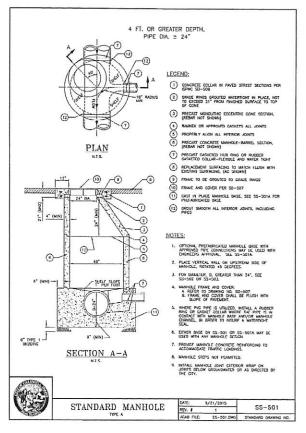
CANYON SPRINGS RV PARK
CALDWELL, IDAHO
STORM DRAINAGE IMPROVEMENT PLANS
STORM DRAINAGE STANDARD DETAILS

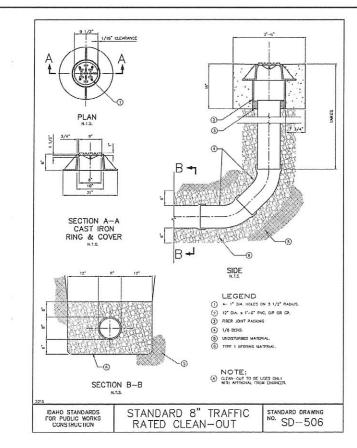
ENGINEERING
5725 NORTH DISCOVERY WAY
BOISE, IDAHO 33713
FIONIC (208) 039-0399
kmengilp.com

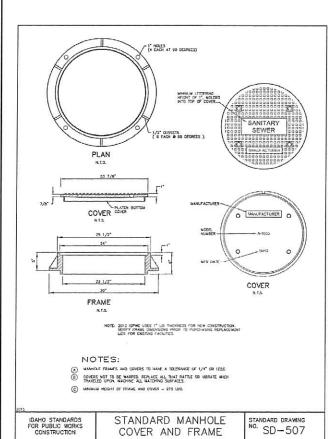
kmenglip.com			
DESIGN BY:	INP		
DRAWN BY:	DMZ/AJL		
CHECKED BY:	JNP		
DATE:	5/21/2024		
PROJECT:	19-090		
SHEET NO.			

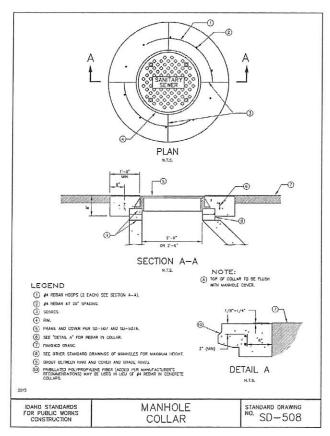


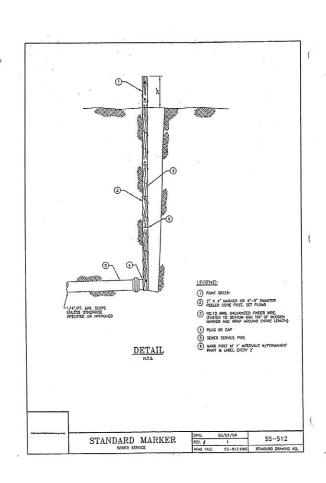


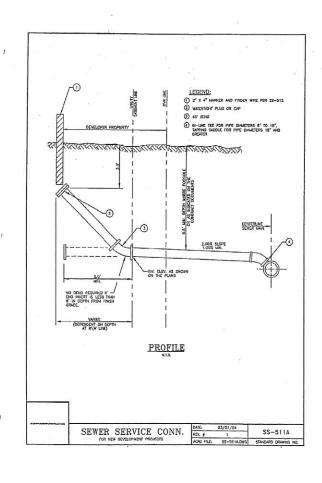














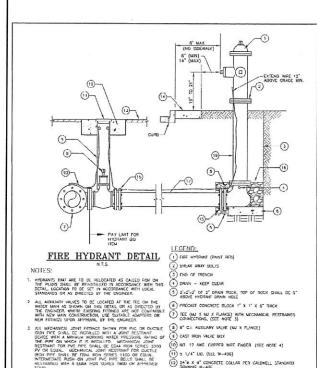
7 7 7

SEWER IMPROVEMENT PLANS SEWER STANDARD DRAWINGS

CANYON SPRINGS RV PARK CALDWELL, IDAHO

brsign BY:).com
DRAWN BY:	DMZ/AJL
CHECKED BY:	JNP
DATE:	5/21/2024
PROJECT:	19-090
SHEET NO.	

BOISE, IDAHO 83713 PHONE (208) 639-6939



(13) THESED GRADE

5. THREAD-ON EXTERNAL STORZ ADAPTER WITH BUND CAP, POLIZING HENGOIS CAP OR RED HEAD S-37, OR APPROVED (6) WEAP DRAW ROCK WITH FLITER FABRIC, (TOP AND SEES) FOULAL IS 5. STORZY A 5. STORZY A 5. STORZY HEAD STORM HENGOIS CAP OR AND SEES (17) 8" DAMBETER PAPE IF LENGTH IS ORGANIZE THAN 30 FEET.

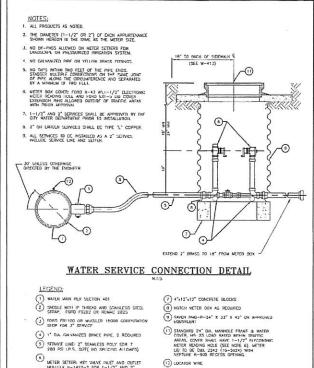
FIRE HYDRANT

(15) MECHANICAL JOINT CONNECTION WITH JOINT RESTRAINT DEVICE.

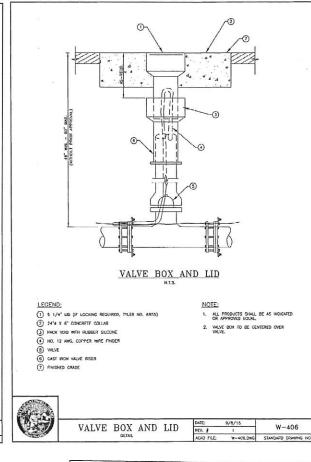
8" DIAMETER PIPE, IF LENGTH IS GREATER THAN 20 FEET, HI STRAIN BUTFRAITBATE JOINTS WITH APPROVED JOINT RESTRAINT, (SEE HOTE 3)

9/8/15

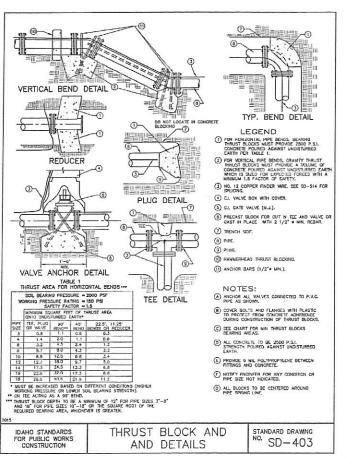
W-404

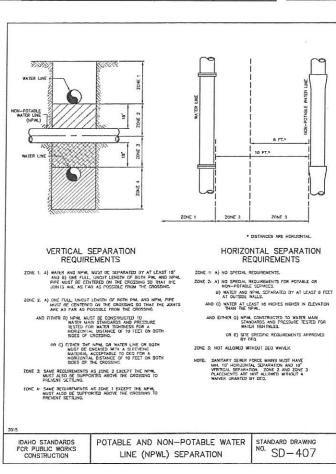


WATER SERVICE

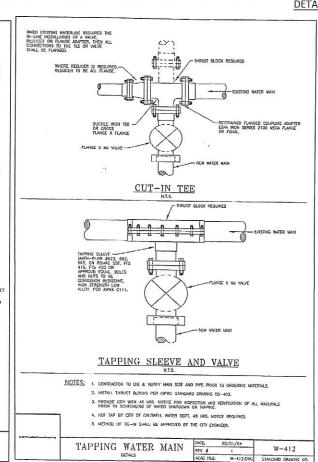


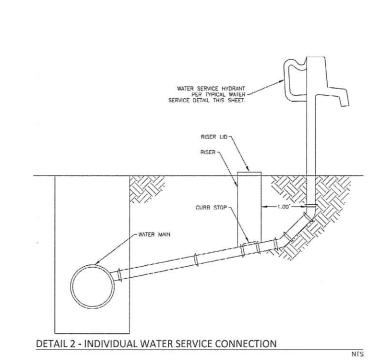






W-402



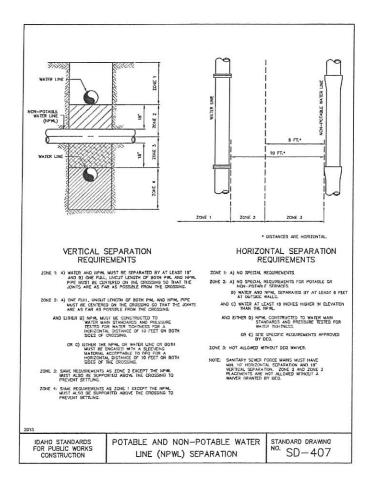


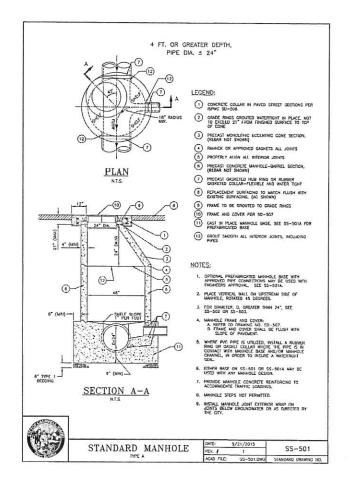


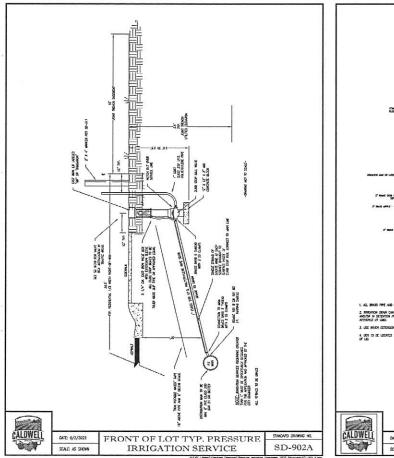
CANYON SPRINGS RV PARK
CALDWELL, IDAHO
WATER IMPROVEMENT PLANS
WATER STANDARD DETAILS

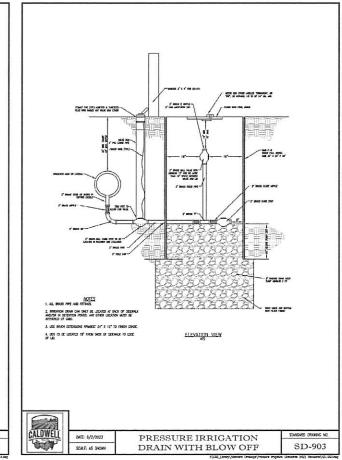
E N G I N E E R I N G 5775 NORTH DISCOVERY WAY BOSE, IDAHO 33713 PIONE (208) 639-6399

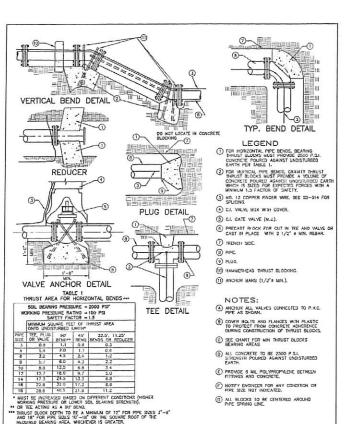
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JNP
5/21/2024
19-090









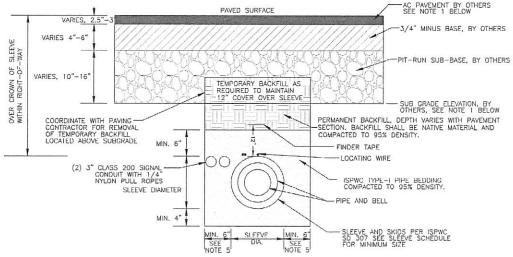


THRUST BLOCK AND

AND DETAILS

STANDARD DRAWING NO. SD-403

IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION



TYPICAL SLEEVED ROAD CROSSING

PIPE DIA.	PIPE BELL O.D.	SLEEVE MIN. DIA.	SLEEVE I.D.
1"	EST. 1.4"	3" PVC CLASS 200	3.1"
3"	4.4"	8" PVC CLASS 200	7.7"
4"	6.0"	10" PVC CLASS 200	9.6"
6"	8.5"	12" PVC CLASS 200	11.4"
8"	11.0"	15" ADS N-12	15.0"
10"	13.5"	18" ADS N-12	18.1"
15"	EST. 19.0"	24" ALUMINIZED CMP	EST. 24.1"
18"	EST. 22.3"	30" ALUMINIZED CMP	EST. 30.2"

A. SLEEVE SCHEDULE BASED ON 1 INCH MINIMUM CLEAR DISTANCE AROUND PIPE BELL.

B. CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING ACTUAL DIMENSIONS OF ALL PROPOSED MATERIALS AND SLEEVE SIZES REQUIRED FOR FIELD FIT.

NOTES:

- COORDINATE WITH PAVING CONTRACTOR TO INSTALL SLEEVE, SIGNAL CONDUIT, FINDER TAPE AND LOCATING WIRE PRIOR TO INSTALLATION OF ROAD SUB-BASE, ROAD BASE AND PAVEMENT.
- SLEEVED ROAD CROSSINGS SHALL COMPLY WITH ISPWC SD-307 EXCEPT THAT SLEEVE SHALL BE CLASS 200 PVC PIPE, ADS N-12 OR ALUMINIZED CMP PIPE AS SPECIFIED IN SLEEVE SCHEDULE.

L. ALL SMOST S E. representation of reviews or con- servations of Australia of 1. Local Smooth	Lineary	F and and a second	ELEVATION VEW	i
GALDWELL	DATE: 6/2/2023 SONE: AS 240AN		RE IRRIGATIC VITH BLOW OI	SINGATO DEGRAGE NO. SID-903



1 KO.

IRRIGATION IMPROVEMENT PLANS IRRIGATION STANDARDS AND DETAILS

CANYON SPRINGS RV PARK CALDWELL, IDAHO

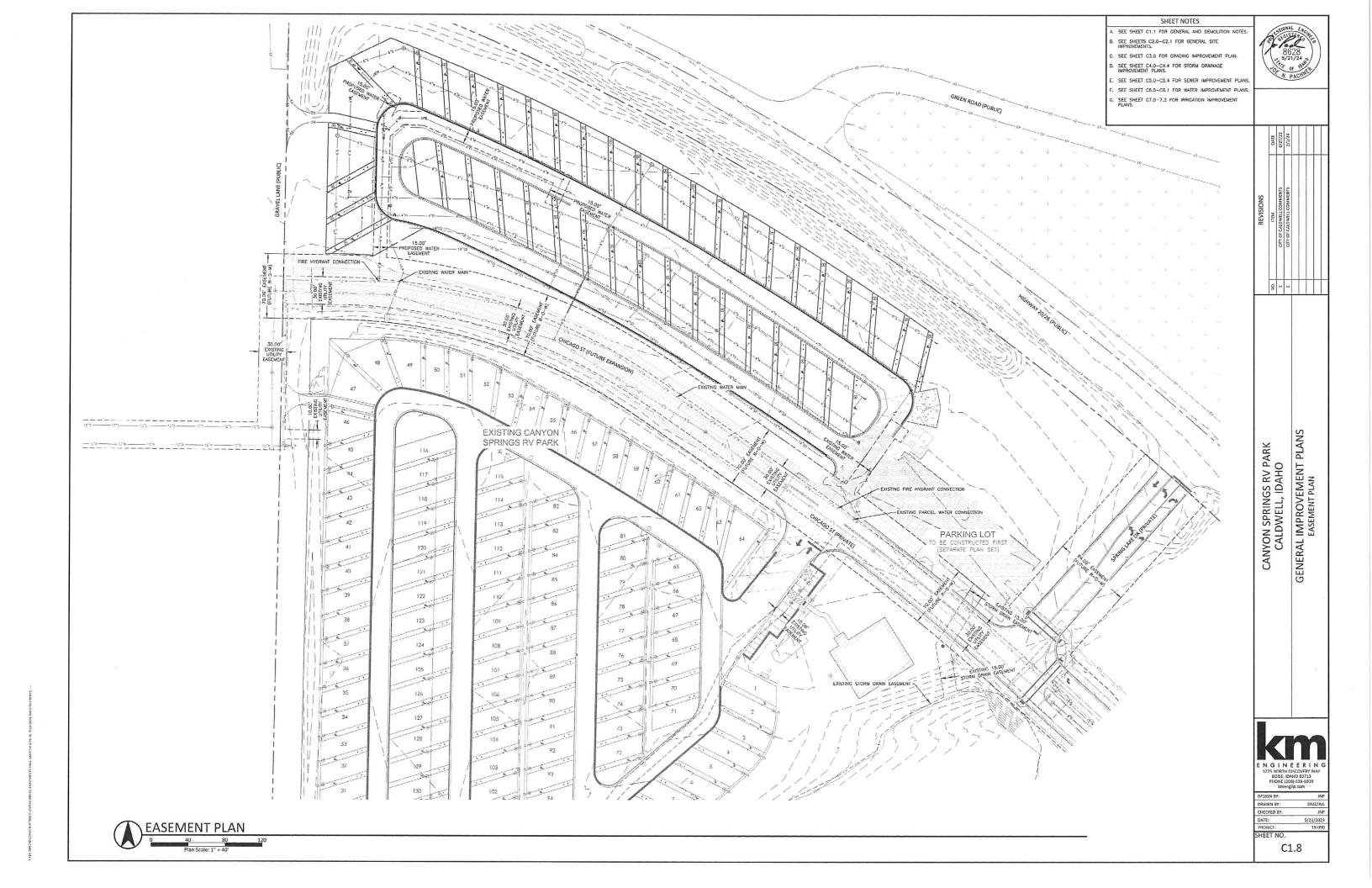
kmenglip.com			
DESIGN BY:	INP		
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CHECKED BY:	JNP		
DATE:	5/21/2024		
PROJECT:	19-090		
SHEET NO.			

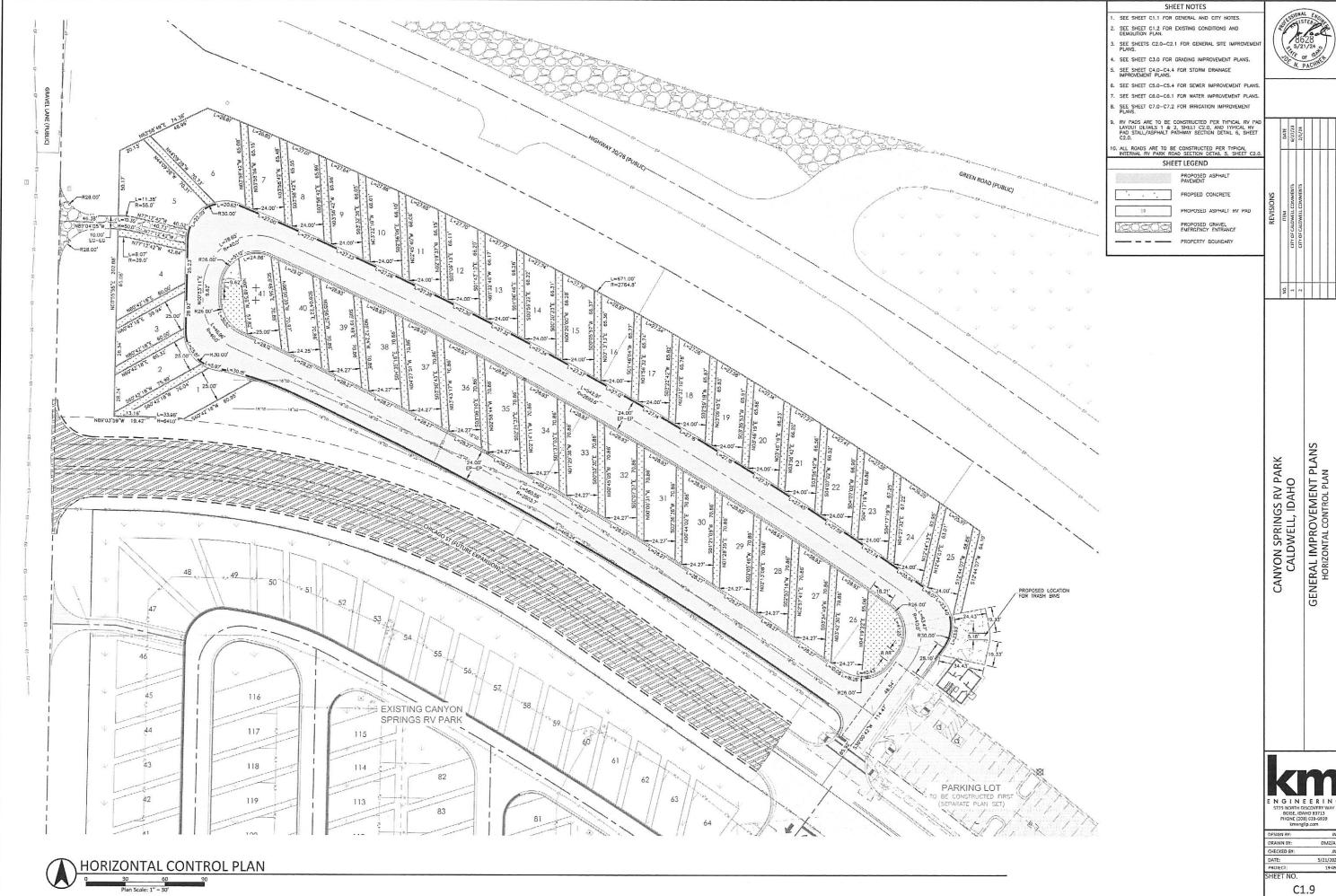
C1.7

IN CASE OF CONFLICTS WITH OTHER UTILITIES, IRRIGATION SLEEVE SHALL CROSS BELOW OTHER UTILITIES.

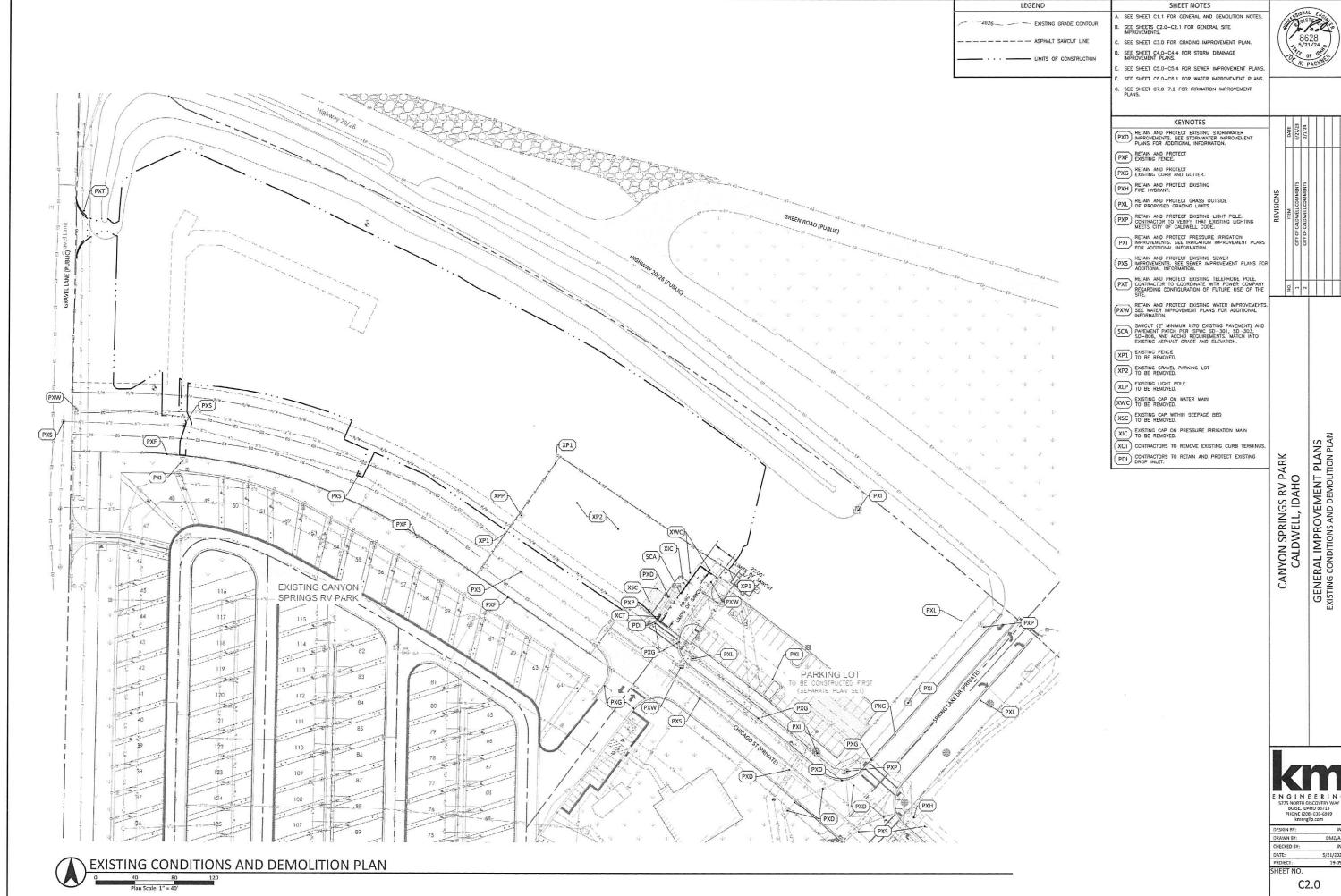
5. INCREASE STATED DISTANCE AS REQUIRED TO MEET COMPACTION.

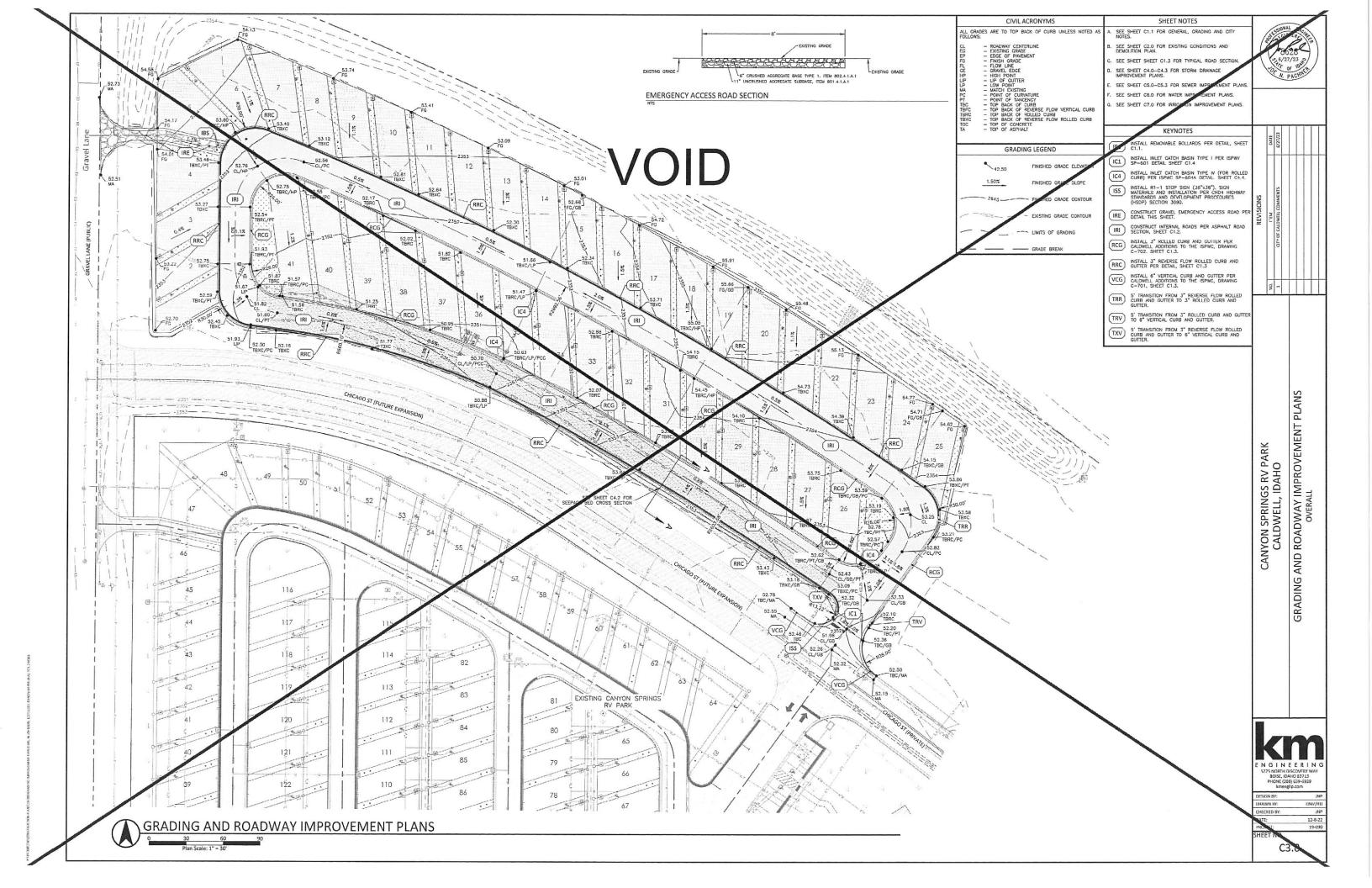
THE CONTRACTOR SHALL CONSTRUCT ALL ROAD CROSSINGS OF THE IRRIGATION FIPE AND POTABLE WATER PIPE IN ACCORDANCE WITH THE IDAHO RULES FOR PUBLIC ORNINING WATER SYSTEMS AND LS.P.W.C. SD-407.

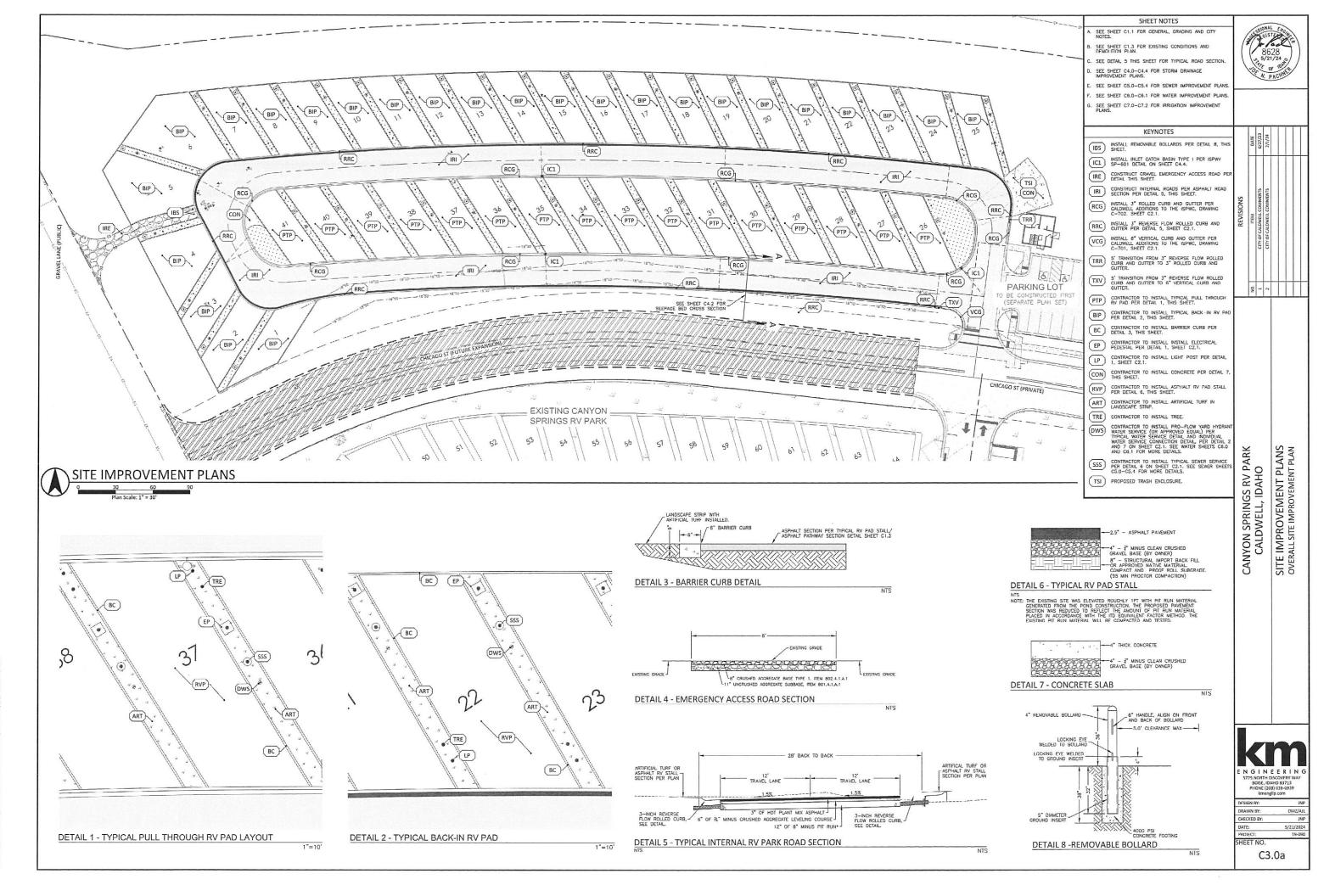




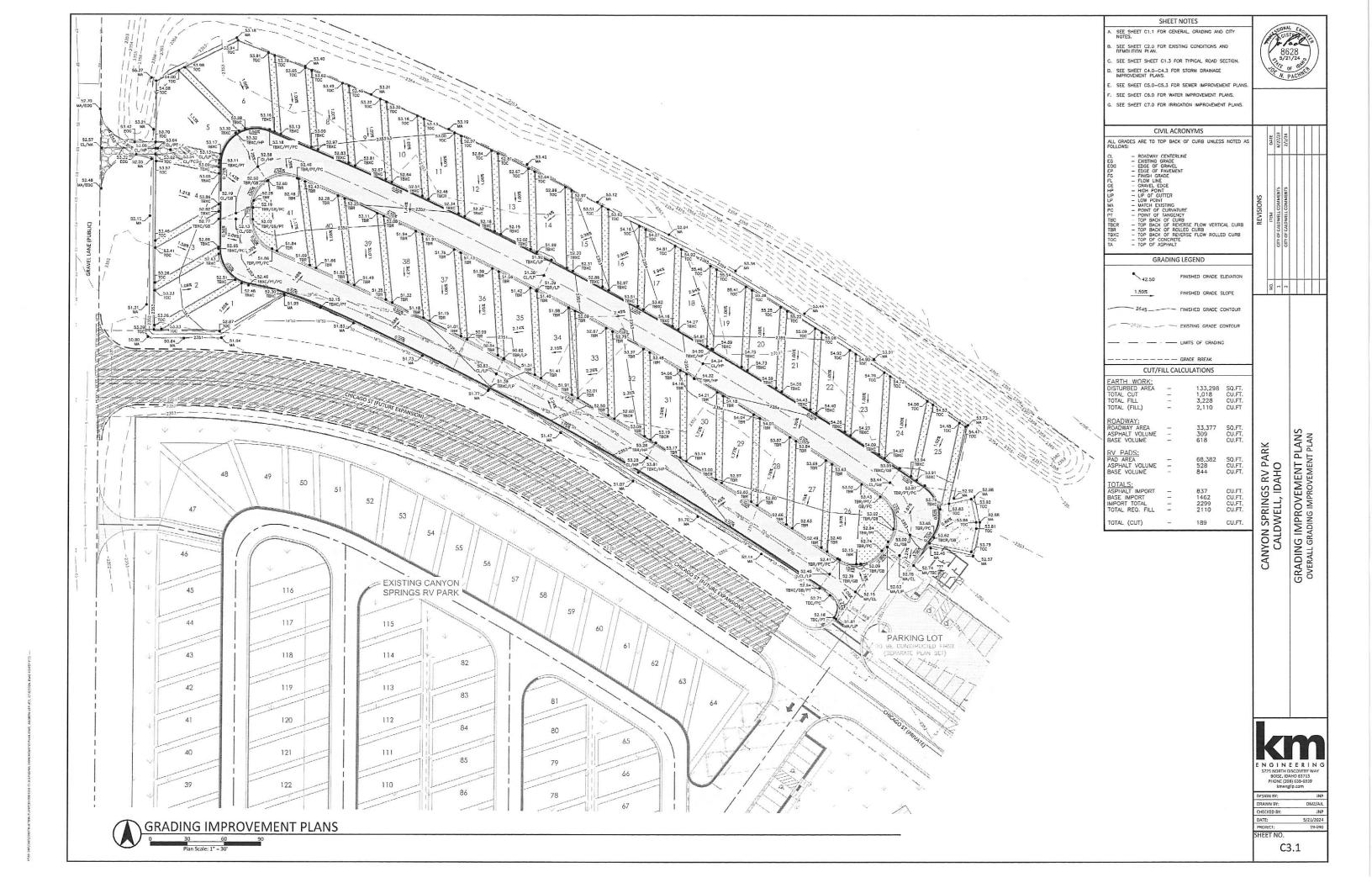
5/21/2024 19-090

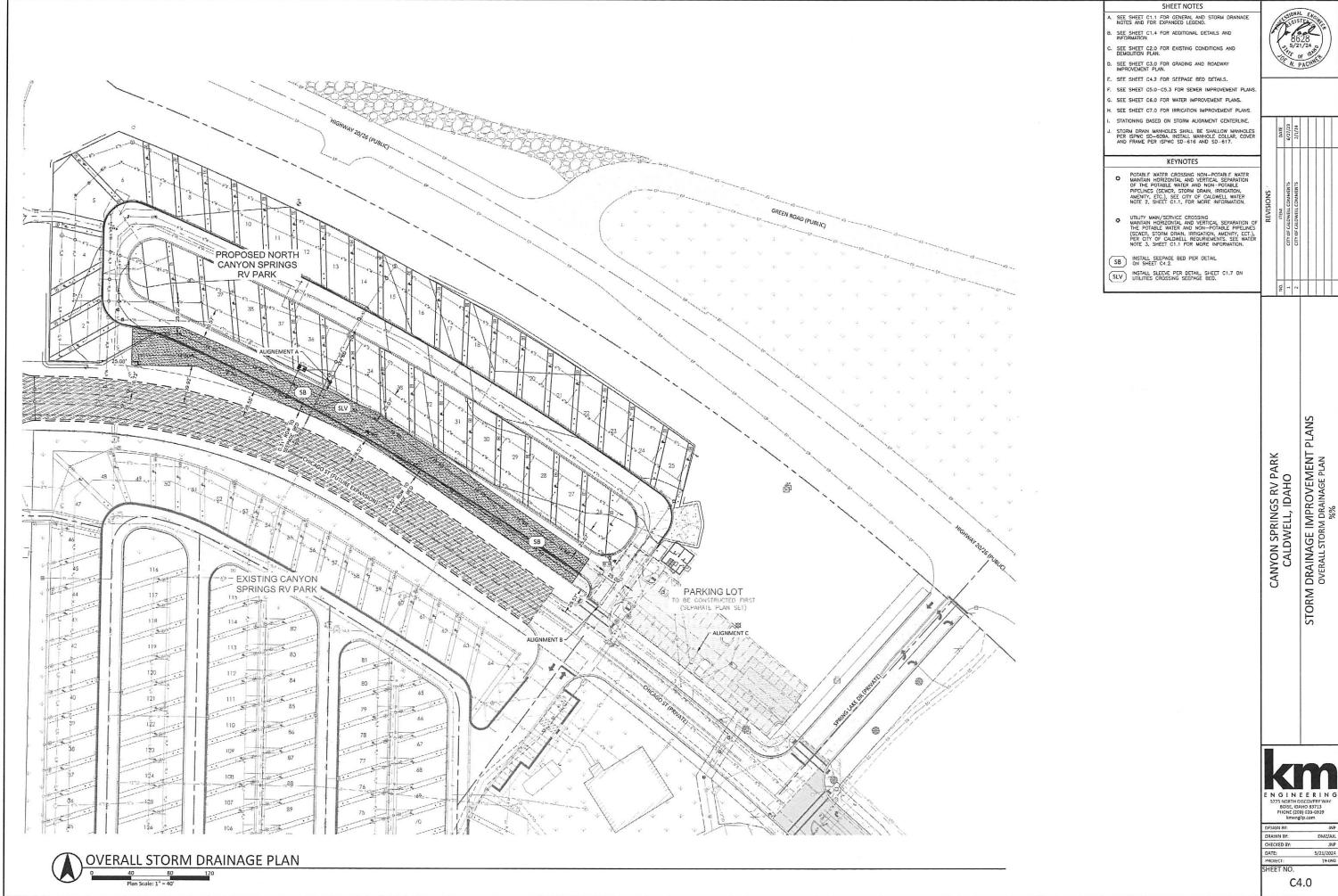




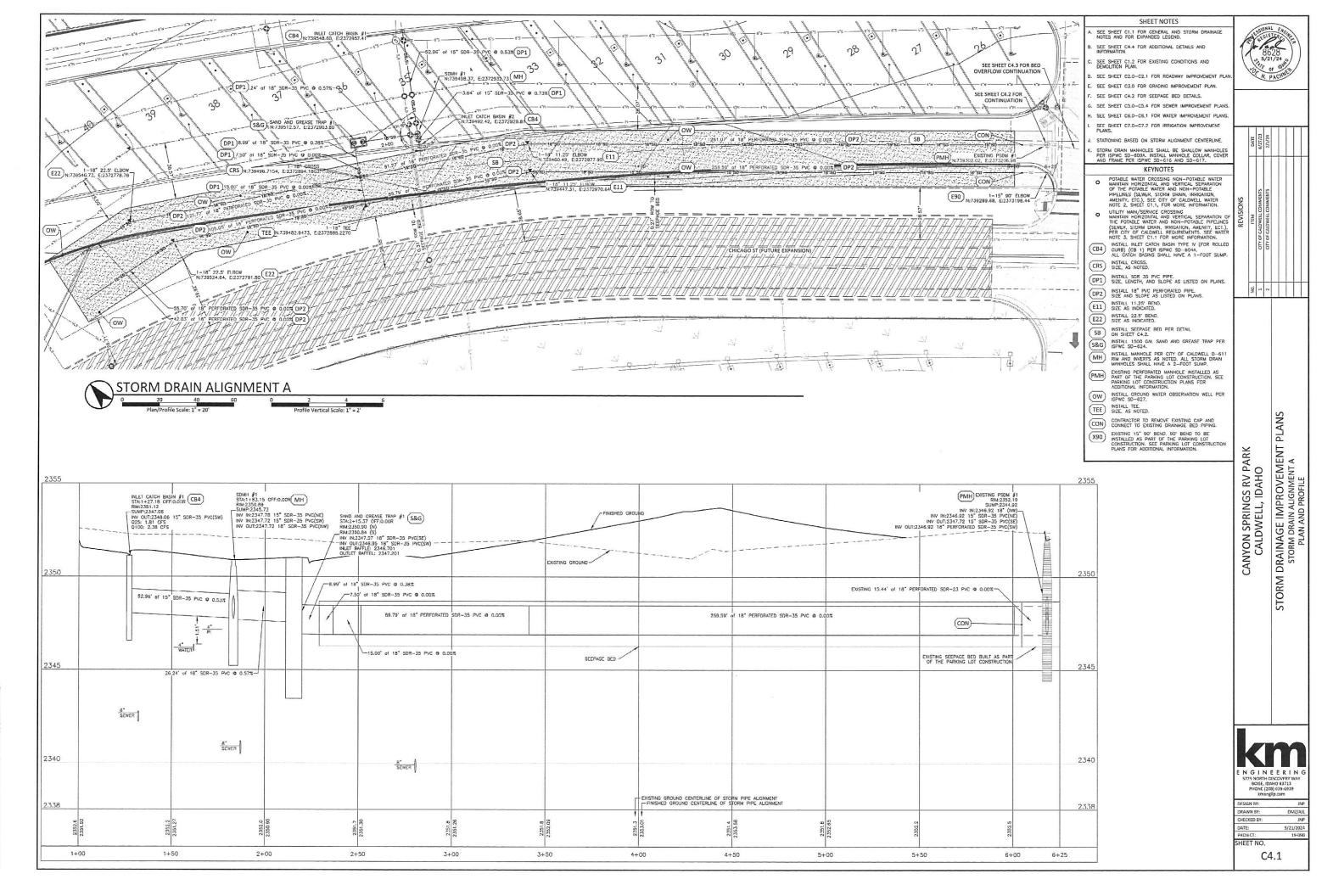


S DOOL STANKE S ADDITION OF SANCTON S OF STANKES OF S

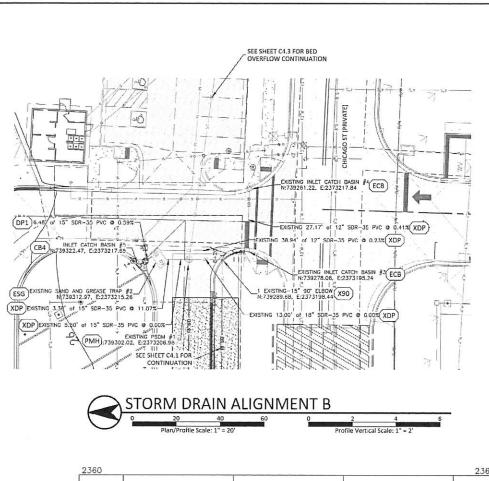


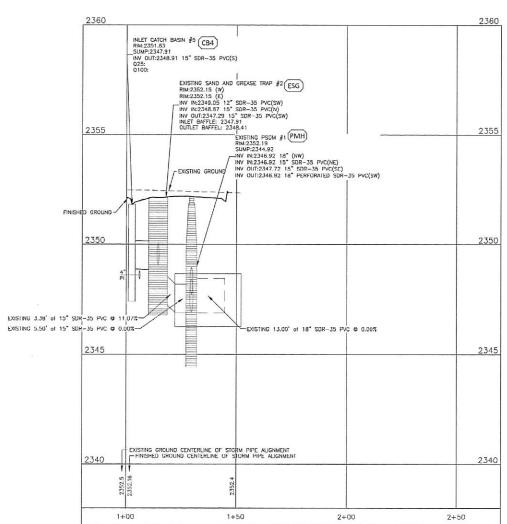


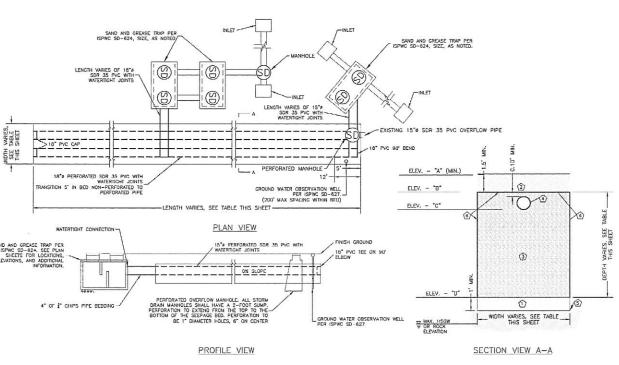
NO. 1 NO.



16-20/Stan CONTRUCTION E AND 19-010 Ct 0 5"Olis Discharge Dwg Appelly, 18-10.







				U This wife -	SEEPA	GE BED TABL	E			
SEEPAGE BFD	BED LENGTH (FT)	BED WIDTH (FT)	AVG. BED DEPTH (FT)	ELEVATION "A"	ELEVATION "B"	ELEVATION "C"	ELEVATION "D"	GROUND WATER FL.	25-YR VOLUME PROVIDED (CF)	DESIGN INFILTRATION RATE (IN/HR)
S8 #1	561	30	2.4	2350.49	2348.07	2346.92	2346.27	2343.00	13,329	0.50

SEEPAGE BEDS

SEE SHEET C1.1 FOR GENERAL AND STORM DRAINAGE NOTES AND FOR EXPANDED LEGEND.

E GISTON

8628

3 2 2

PLANS

DRAINAGE IMPROVEMENT STORM DRAIN ALIGNMENT B PLAN AND PROFILE

STORM

CANYON SPRINGS RV PARK CALDWELL, IDAHO

- SEE SHEET C4.4 FOR ADDITIONAL DETAILS AND INFORMATION.
- SEE SHEET C1.2 FOR EXISTING CONDITIONS AND DEMOLITION PLAN.
- SEE SHEET C2.0-C2.1 FOR ROADWAY IMPROVEMENT PL
- SEE SHEET C3.0 FOR GRADING IMPROVEMENT PLAN.
- SEE SHEET C4.2 FOR SEEPAGE BED DETAILS.
- SEE SHEET C5.0-C5.4 FOR SEWER IMPROVEMENT PLANS. SEE SHEET C6.0-C6.1 FOR WATER IMPROVEMENT PLANS.
- SEE SHEET C7.0-C7.2 FOR IRRIGATION IMPROVEMENT PLANS.
- STATIONING BASED ON STORM ALIGNMENT CENTERLINE.
- STORM DRAIN MANHOLES SHALL BE SHALLOW MANHOLES PER ISPWC SD-609A. INSTALL MANHOLE COLLAR, COVER AND FRAME PER ISPWC SD-616 AND SD-G17.

KEYNOTES

- POTABLE WATER CROSSING NON-POTABLE WATER MAINTAIN HORIZONTAL AND VERTICAL SEPARATION OF THE POTABLE WATER AND NON-POTABLE PIPCLINES (SEWER, STORM DRAIN, IBRIGATION, AMENITY, ETC.), SEE CITY OF CALDWELL WATER NOTE 2, SHEET CI.1, FOR MORE INFORMATION.
- UTILITY MAIN/SERVICE CROSSING MAINTAIN HORIZONTAL AND VERTICAL SEPARATION (THE POTABLE WATER AND NON-POTABLE PIPELINE
- ECB) EXISTING INLET CATCH BASIN TYPE I INSTALLED AS PART OF THE PARKING LOT CONSTRUCTION. SEE PARKING LOT CONSTRUCTION PLANS FOR ADDITIONAL INFORMATION.
- INSTALL INLET CATCH BASIN TYPE IV (FOR ROLLED CURB) (CB 1) PER ISPWC SD-604A.
 ALL CATCH BASINS SHALL HAVE A 1-FOOT SUMP. (DP1) INSTALL SDR 35 PVC PIPE. SIZE, LENGTH, AND SLOPE AS LISTED ON PLANS.
- DISTING PRAINAGE PIPE TO BE INSTALLED AS PART OF THE PARKING LOT CONSTRUCTION. SEE PARKING LOT CONSTRUCTION PLANS FOR ADDITIONAL INFORMATION. SIZE, LENGTH, AND SLOPE AS LISTED ON PLANS. EXISTING 15° 90' BEND. 90' BEND TO BE INSTALLED AS PART OF THE PARKING LOT CONSTRUCTION. SEE PARKING LOT CONSTRUCTION PLANS FOR ADDITIONAL INFORMATION.
- (x90)
- (ESG) CONNECT TO EXISTING 1000 GAL SAND AND GREASE TRAP TO BE INSTALLED AS PART OF THE PARKING LOT CONSTRUCTION. SEE PARKING LOT CONSTRUCTION PLANS FOR ADDITIONAL INFORMATION.
- (PMH)

- KEY C)

 1. SAND FILITER— 12 INCH MIN. LAYER OF FINE AGGREGATE MATERIAL MEETING GRADATION REQUIREMENTS OF ITD STANDARD SPECIFICATION 703.2 "FINE AGGREGATE FOR CONCRETE". LAYER SHALL BE INCREASED TO 24 INCHES WHEN BOTTOM OF BED IS LOCATED WITHIN 3" OF HIGH GROUNDWATER. TOP OF SAND SHALL BE LOCATED A MINIMUM OF 12 INCHES ABOVE HIGH GROUND WATER ELEVATION.

 2. MINIMUM OF 1.5" COVER FROM TOP OF BED TO FINISH GRADE, BACKFILL WITH NATIVE TOPSOIL.

 3. 19" TO ST WATER DEATH ROCK.

 4. 19" TO ST WATER DEATH ROCK.

 5. EXTERD 2" (MIN.) INTE FREE DRAWING MATERIAL.

 6. NON-WOVEN FABRIC (4 OZ/SQUARE YARD) PER CITY OF CALDWELL STORMARTER DESIGN COUNCELING.

- GENERAL NOTES

 A. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF GROUND WATER IS ENCOUNTERED. REFER TO THE "LIMITED GEOTECHNICAL INVESTIGATION CANYON SPRINGS RY PARK EXPANSION" PREPARED BY ATLAS TECHNICAL CONSULTANTS, DATED JULIF 21, 2021.

 B. ALL MANHOLES AND SAND AND GREASE TRAPS SHALL BE HS25 OR GREATER LOAD RATED.

 C. ALL GEOTEXTILE SEAMS SHALL OVERLAP I FOOT MINIMUM.

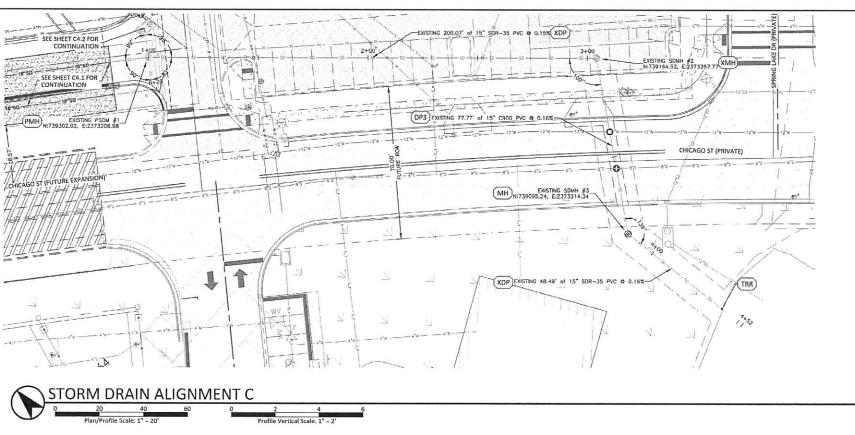
 D. BED WITCH SHALL REMAIN CONSTANT.

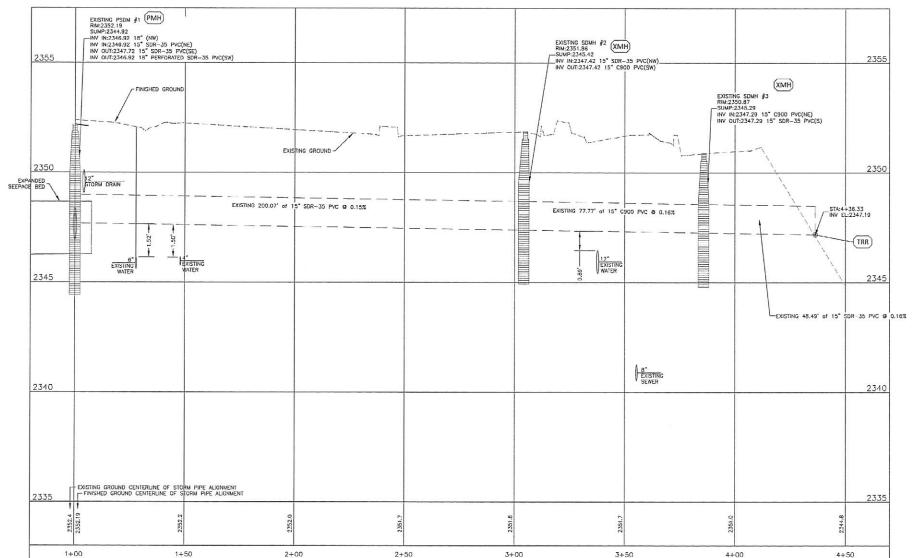
 E. STORAGE VIOLE DOESNIT INCLUDITS. SAND FILTER.

 CONTRACTOR SHALL DATE ATTER THE FACILITY IS FULLY EXCAVATED.



DESIGN BY:	INP
DRAWN BY:	DMZ/AJL
CHECKED BY:	JNP
DATE:	5/21/2024
PROJECT:	19-090
CHEET NO	





SHEET NOTES

- SEE SHEET C1.1 FOR GENERAL AND STORM DRAINAGE NOTES AND FOR EXPANDED LEGEND.
- SEE SHEET C4.4 FOR ADDITIONAL DETAILS AND INFORMATION.
- SEE SHEET C1.2 FOR EXISTING CONDITIONS AND DEMOLITION PLAN.
- SEE SHEET C2.0-C2.1 FOR ROADWAY IMPROVEMENT PL SEE SHEET C3.0 FOR GRADING IMPROVEMENT PLAN.
- . SEE SHEET C4.2 FOR SEEPAGE BED DETAILS.
- G. SEE SHEET C5.0-C5.4 FOR SEWER IMPROVEMENT PLANS
- . SEE SHEET C6.0-C6.1 FOR WATER IMPROVEMENT PLANS. SEE SHEET C7.0-C7.2 FOR IRRIGATION IMPROVEMENT PLANS.
- STATIONING BASED ON STORM ALIGNMENT CENTERLINE.
- STORM DRAIN MANHOLES SHALL BE SHALLOW MANHOLES PER ISPWC SD-609A. INSTALL MANHOLE COLLAR, COVER AND FRAME PER ISPWC SD-616 AND SD-617.

KEYNOTES

- POTABLE WATER CROSSING NON-POTABLE WATER MANTAIN HORIZONTAL AND VERTICAL SEPARATION OF THE POTABLE WATER AND NON-POTABLE PIPELINES (SEWER, STORM DRAIN, IRRIGATION, AMENITY, ETC.), SEE CITY OF CALUMELL WATER NOTE 2 AND 3, SHEET C1.1, FOR MORE INFORMATION.
- UTILITY MAIN/SERVICE CROSSING
 MAINTAIN HORIZONTAL AND VERTICAL SEPARATION OF
 THE POTABLE WATER AND NON-POTABLE PIPELINES
 (SEWER, STORM DRAIN, IRRIGATION, AMENITY, ECT.),
 PER CITY OF CALDWELL REQUIREMENTS. SEE WATER
 NOTE 2, SHEET C.1. FOR MORE INFORMATION.
- CB1 INSTALL INLET CATCH BASIN TYPE I PER ISPWC SD-601, ALL CATCH BASINS SHALL HAVE A 1-FOOT SUMP.
- DP3) EXISTING C-900 PVC PIPE TO BE INSTALLED AS PART OF THE PARKING LOT CONSTRUCTION. PLANS FOR ADDITIONAL INFORMATION.
 SIZE, LENGTH, AND SLOPE AS LISTED ON PLANS.
- EXISTING PERFORATED MANHOLE TO BE INSTALLED AS PART OF THE PARKING LOT CONSTRUCTION, SEE PARKING LOT CONSTRUCTION PLANS FOR ADDITIONAL INFORMATION. PMH
- TRR DISTRIBUTE HAP AND TRASH PACK ON OUTFLOW PIPE TO POND TO BE INSTALLED AS PART OF THE PARKING LOT CONSTRUCTION. SEE PARKING LOT CONSTRUCTION PLANS FRO ADDITIONAL INFORMATION.
- (XDP) EXISTING DRAINAGE PIPE TO BE INSTALLED AS PART OF THE PARKING LOT CONSTRUCTION. PLANS FOR ADDITIONAL INFORMATION.
 SIZE, LENGTH, AND SLOPE AS LISTED ON PLANS.
- | XMH| EXISTING MANHOLE TO BE INSTALLED AS PART OF THE PARKING LOT CONSTRUCTION. SEE PARKING LOT CONSTRUCTION PLANS FOR ADDITIONAL INFORMATION.

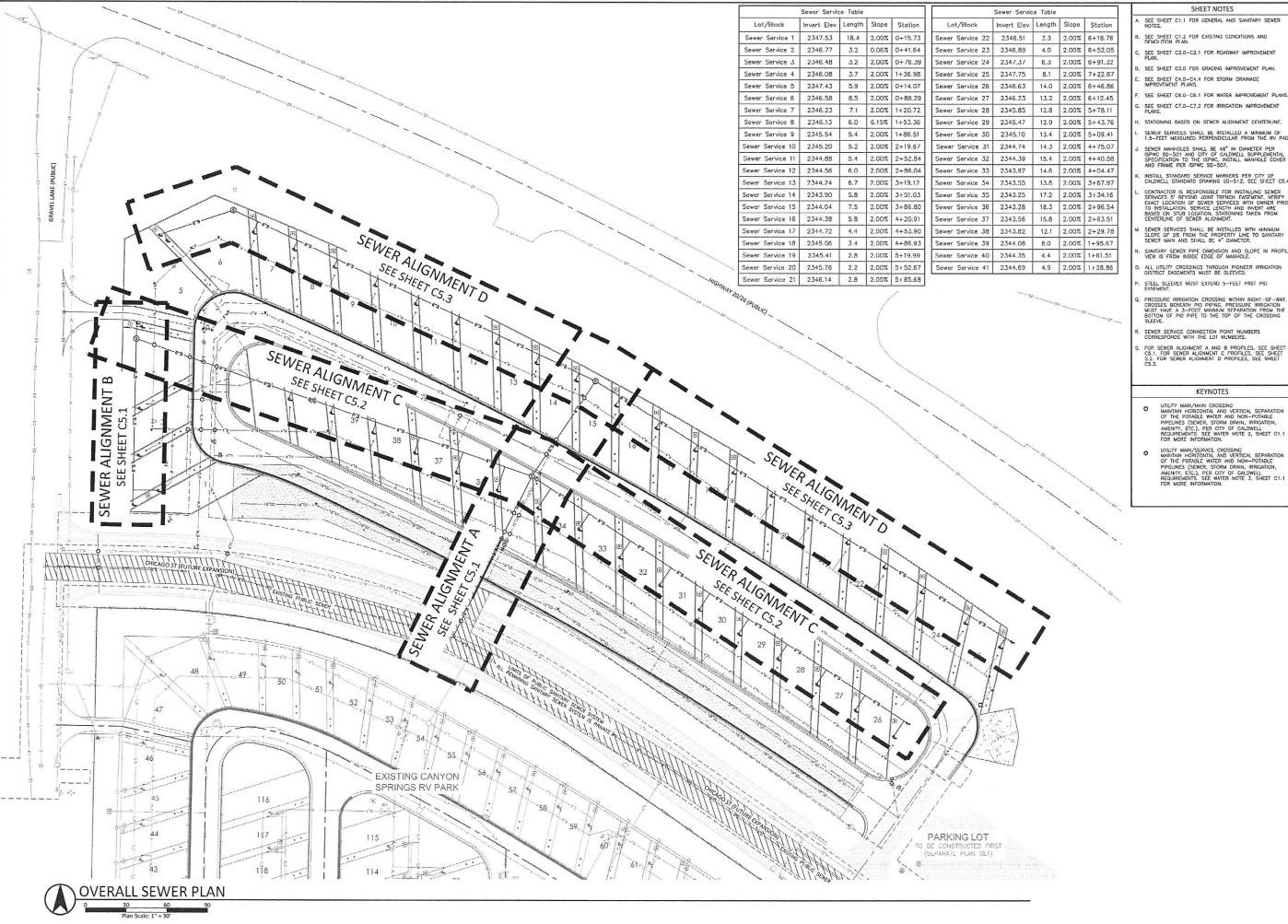


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STORM DRAINAGE IMPROVEMENT PLANS STORM DRAIN ALIGNMENT C PLAN AND PROFILE CANYON SPRINGS RV PARK CALDWELL, IDAHO

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- SEE SHEET C3.0 FOR GRADING IMPROVEMENT PLAN.

- SEE SHEET C7.0-C7.2 FOR IRRIGATION IMPROVEMENT PLANS.
- SEWER SERVICES SHALL BE INSTALLED A MINIMUM OF 1.5-FEET MEASURED PERPENDICULAR FROM THE RV PAD
- SEWER MANHOLES SHALL BE 48" IN DIAMETER PER ISPWC SD-501 AND CITY OF CALDWELL SUPPLEMENTAL SPECIFICATION TO THE ISPWC. INSTALL MANHOLE COVER AND FRAME PER ISPWC SD-507.
- INSTALL STANDARD SERVICE MARKERS PER CITY OF CALDWELL STANDARD DRAWING SS-512, SEE SHEET C5.4
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING SEWER SERVICES 5' BEYOND JOINT TRENCH FASEMENT. VERIFY EXACT LOCATION OF SEWER SERVICES WITH OWNER PRI TO INSTALLATION. SERVICE LENGTH AND INVERT ARE BASED ON STUB LOCATION. STATIONING TAKEN FROM CENTERLINE OF SEWER ALIGNMENT.
- SANITARY SEWER PIPE DIMENSION AND SLOPE IN PROFIL VIEW IS FROM INSIDE EDGE OF MANHOLE.

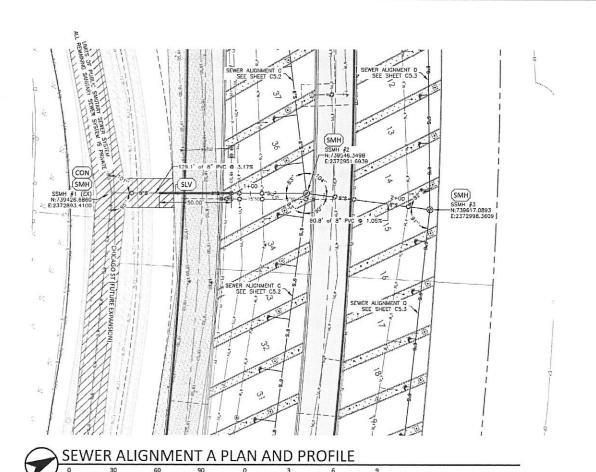
- - UTILITY MAIN/SERVICE CROSSING
 MAINTAIN HORIZONTAL AND VERTICAL SEPARATION
 OF THE POTABLE WATER AND NON-POTABLE
 PIPELINES (SEWER, STORM DRAIN, IRRIGATION,
 AMENITY, ETC.), PER CITY OF GALDWELL
 REQUIREMENTS. SEE WATER NOTE 3, SHEET C1.1
 FOR MORE INFORMATION.

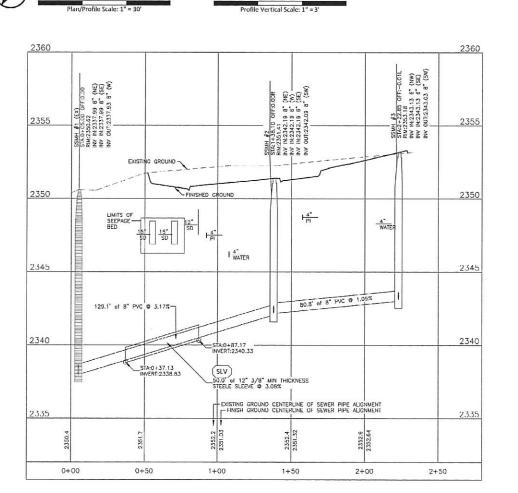
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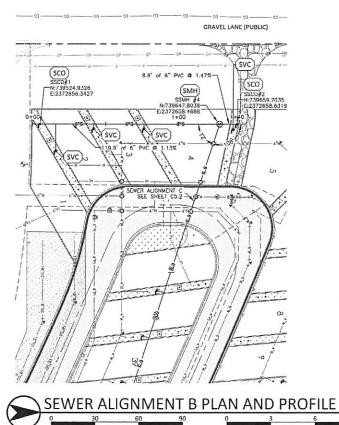
SEWER IMPROVEMENT PLANS
OVERALL SEWER PLAN
%% CANYON SPRINGS RV PARK CALDWELL, IDAHO

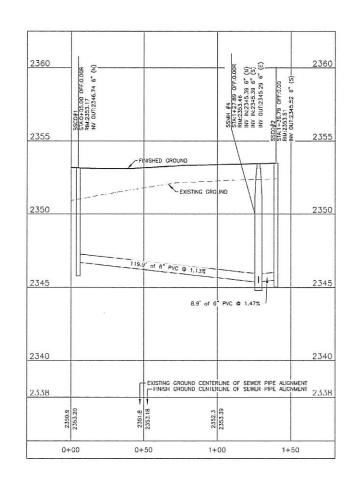
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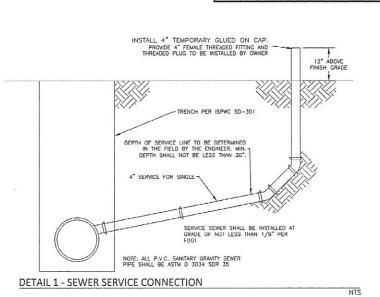
SHEET NOTES

- SEE SHEET C1.1 FOR GENERAL AND SANITARY SEWER NOTES.
- SEE SHEET C1.2 FOR EXISTING CONDITIONS AND DEMOLITION PLAN.
- SEE SHEET C2.0-C2.1 FOR ROADWAY IMPROVEMENT PLAN.
- SEE SHEET C4.0-C4.4 FOR STORM DRAINAGE IMPROVEMENT PLANS.
- SEE SHEET C7.0-C7.2 FOR IRRIGATION IMPROVEMENT PLANS.

- SEWER MANHOLES SHALL BE 48" IN DIAMETER PER ISPWC SO-501 AND CITY OF CALDWELL SUPPLEMENTAL SPECIFICATION TO THE ISPWC. INSTALL MANHOLE COVER AND FRAME PER ISPWC SD-507.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING SEWER SERVICES 5' BEYOND JOINT TERRICH FASEMENT. VERIEY EXACT LOCATION OF SEWER SERVICES WITH OWNER PRI TO INSTALLATION. SERVICE LENGTH AND INVEST ARE BASED ON STUB LOCATION. STATIONING TAKEN FROM CENTERLINE OF SEWER AUGMENT.
- SEWER SERVICES SHALL BE INSTALLED WITH MINIMUM SLOPE OF 2% FROM THE PROPERTY LINE TO SANITAR' SEWER MAIN AND SHALL BE 4" DIAMETER.
- ALL UTILITY CROSSINGS THROUGH PIONEER IRRIGATION DISTRICT EASEMENTS MUST BE SLEEVED.
- STEEL SLEEVES MUST EXTEND 5-FEET PAST PID EASEMENT.
- PRESSURE IRRIGATION CROSSING WITHIN RIGHT-OF-WAY. CROSSES BENEATH PID PIPING. PRESSURE RIRIGATION MUST HAVE A 3-FOOT MINIMUM SEPARATION FROM THE BOTTOM OF PID PIPE TO THE TOP OF THE CROSSING SLEEVE.
- SEWER SERVICE CONNECTION POINT NUMBERS CORRESPONDS WITH THE LOT NUMBERS.
- FOR SEWER ALIGNMENT A AND B PROFILES, SEE SHEET C5.1. FOR SEWER ALIGNMENT C PROFILES, SEE SHEET C5.3.

KEYNOTES

- O UTILITY MAIN/MAIN CROSSING MAINTAIN HORIZONTAL AND VERTICAL SEPARATION OF THE POTABLE WAIER AND NON-POTABLE PIPELINES (SEVER, STORM DRAIN, IRRIGATION, AMENIV, ETC.), PER CITY OF CAUDICAL REQUIREMENTS. SEE WATER NOTE 2, SHEET C1.1 FOR MORE INTORNATION.
- UTILITY MAIN/SERVICE CROSSING MAINTAIN HORIZONTAL AND VERTICAL SEPARATION OF THE POTABLE WATER AND NON-POTABLE PIPELINES (SEWER, STORM DRAIN, IRRIGATION, AMENITY, ETC.), PER CITY OF CALUWELL REQUIREMENTS. SEE WATER NOTE 3, SHEET C1.1 FOR NORE INFORMATION.
- SVC INSTALL SEVER SERVICE MARKER PER CITY OF CALDWELL SUPPLEMENTAL SPECIFICATIONS STANDARD DRAWING SS-512.
- CON CONNECT TO EXISTING 8" SEWER MAIN THROUGH CORE DRILLING INVERT.
- SCO) INSTALL STANDARD SEWER CLEAN-OUT TYPE A PER ISPNG STANDARD DRAWING SD-506. SEE SHEET C5.4.
- SLV INSTALL SLEEVE PER DETAIL, SHEET C5.4 ON UTILITIES CROSSING SEEPAGE BED.



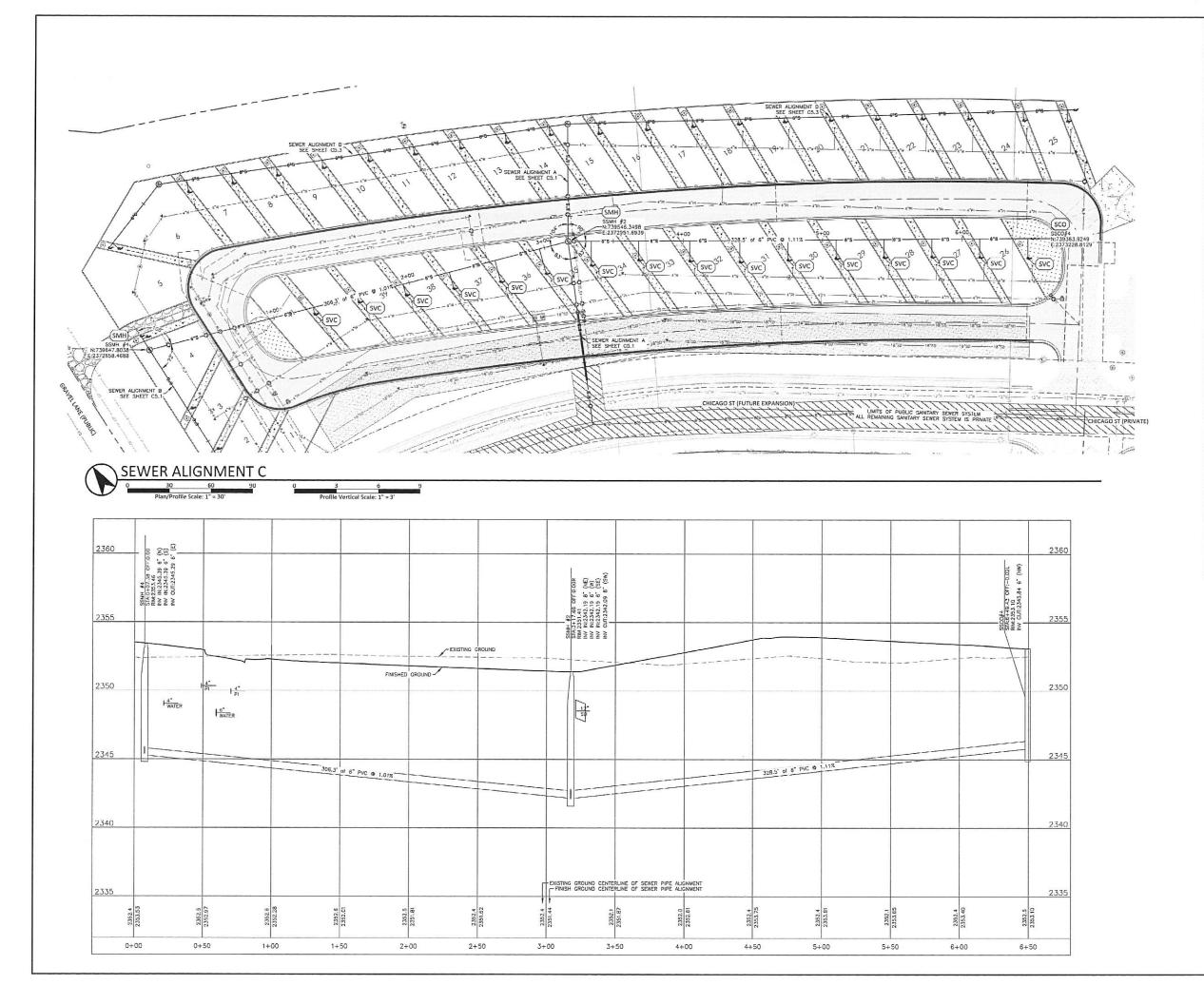
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SEWER IMPROVEMENT PLANS SEWER ALIGNMENTS A AND B PLAN AND PROFILE

CANYON SPRINGS RV PARK CALDWELL, IDAHO

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SHEET NOTES

- SEE SHEET C1.1 FOR GENERAL AND SANITARY SEWER NOTES.
- SEE SHEET C1.2 FOR EXISTING CONDITIONS AND DEMOLITION PLAN.
- C. SEE SHEET C2.0-C2.1 FOR ROADWAY IMPROVEMENT PLAN.
- . SEE SHEET C3.0 FOR GRADING IMPROVEMENT PLAN.
- E. SEE SHEET C4.0-C4.4 FOR STORM DRAINAGE IMPROVEMENT PLANS.
- F. SEE SHEET C6.0-C6.1 FOR WATER IMPROVEMENT PLANS
- G. SEE SHEET C7.0-C7.2 FOR IRRIGATION IMPROVEMENT PLANS.
- H. STATIONING BASED ON SEWER ALIGNMENT CENTERLIN
- SEWER SERVICES SHALL BE INSTALLED A MINIMUM OF 1.5-FEET MEASURED PERPENDICULAR FROM THE RV PAL
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- K. INSTALL STANDARD SERVICE MARKERS PER CITY OF CALDWELL STANDARD DRAWING SS-512, SEE SHEET C5.
- L CONTRACTOR IS RESPONSIBLE FOR INSTALLING SEWER SERVICES 5' BRYOND JOINT TIERNCH FASSWERT, VERTY EXACT LOCATION OF SEWER SERVICES WITH OWNER PRICTO INSTALLATION, SERVICE LEBOTH AND INVEST ARE BASED ON STUB LOCATION. STATIONING TAKEN FROM CENTERLINE OF SEWER AUGNAMENT.
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- ALL UTILITY CROSSINGS THROUGH PIONEER IRRIGATION DISTRICT EASEMENTS MUST BE SLEEVED.
- STEEL SLEEVES MUST EXTEND 5—FEET PAST PID EASEMENT.
- Q. PRESSURE IRRIGATION CROSSING WITHIN RIGHT-OF-WAY. CROSSES BENEATH PID PIPINC, PRESSURE IRRICATION MUST HAVE A 3-FOOT MINIMIMUM SEPARATION FROM THE BOTTOM OF PID PIPE TO THE TOP OF THE CROSSING SLEEVE.
- SEWER SERVICE CONNECTION POINT NUMBERS CORRESPONDS WITH THE LOT NUMBERS.
- FOR SEWER ALIGNMENT A AND B PROFILES, SEE SHEET C5.1. FOR SEWER ALIGNMENT C PROFILES, SEE SHEET C5.2. FOR SEWER ALIGNMENT D PROFILES, SEE SHEET C5.3.

KEYNOTES

- UTILITY MAIN/MAIN CROSSING MAINTAIN HORIZONTAL AND VERTICAL SEPARATION OF 1HE POTABLE WATER AND NON-POTABLE PIPELINES (SEWER, STORM DRAIN, IRRIGATION, AMENITY, ETC.), PER CITY OF CALUWELL REQUIREMENTS. SEE WATER NOTE 2, SHEET C1.1 FOR MORE INFORMATION.
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- SVC INSTALL SEWER SERVICE MARKER PER CITY OF CALDWELL SUPPLEMENTAL SPECIFICATIONS STANDARD DRAWING SS-512.
- SMH INSTALL STANDARD MANHOLE TYPE A PER CITY O CALDWELL STANDARD DRAWING SS-501. SHEET C5.4.
- INSTALL STANDARD SEWER CLEAN-OUT TYPE A PER ISPWC STANDARD DRAWING SD-506. SEE SHEET C5.4.

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SEWER IMPROVEMENT PLANS
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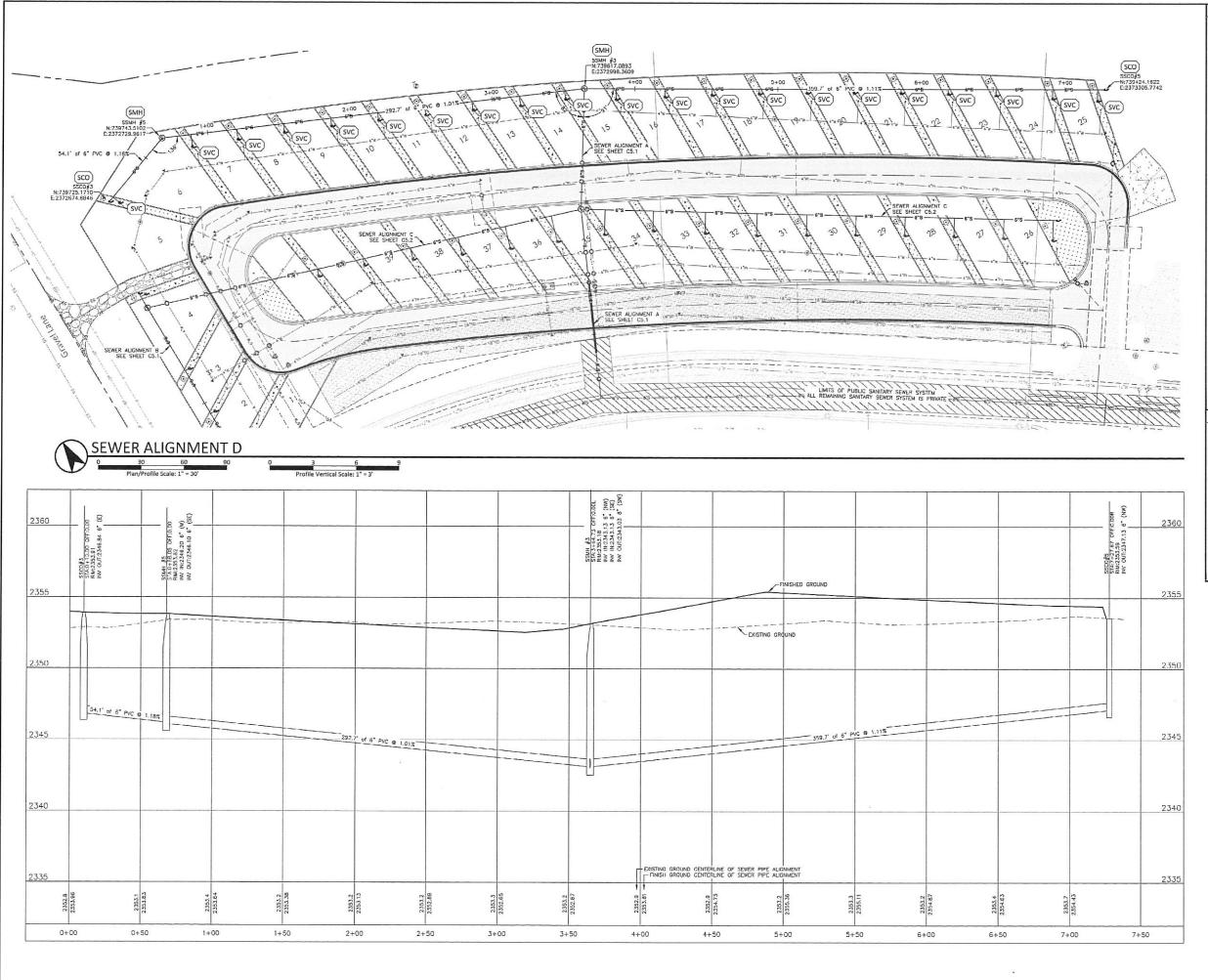
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- SEE SHEET C1.1 FOR GENERAL AND SANITARY SEWER NOTES.
- SEE SHEET C1.2 FOR EXISTING CONDITIONS AND DEMOLITION PLAN.
- SEE SHEET C2.0-C2.1 FOR ROADWAY IMPROVEMENT PLAN.
- SEE SHEET C3.0 FOR GRADING IMPROVEMENT PLAN.
- SEE SHEET C4.0-C4.4 FOR STORM DRAINAGE IMPROVEMENT PLANS. SEE SHEET C6.0-C6.1 FOR WATER IMPROVEMENT PLANS
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KEYNOTES

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- INSTALL SEWER SERVICE MARKER PER CITY OF CALDWELL SUPPLEMENTAL SPECIFICATIONS STANDARD DRAWING SS-512. (SVC)
- INSTALL STANDARD SEWER CLEAN-OUT TYPE A PER ISPWC STANDARD DRAWING SD-506. SEE SHEET C5.4.

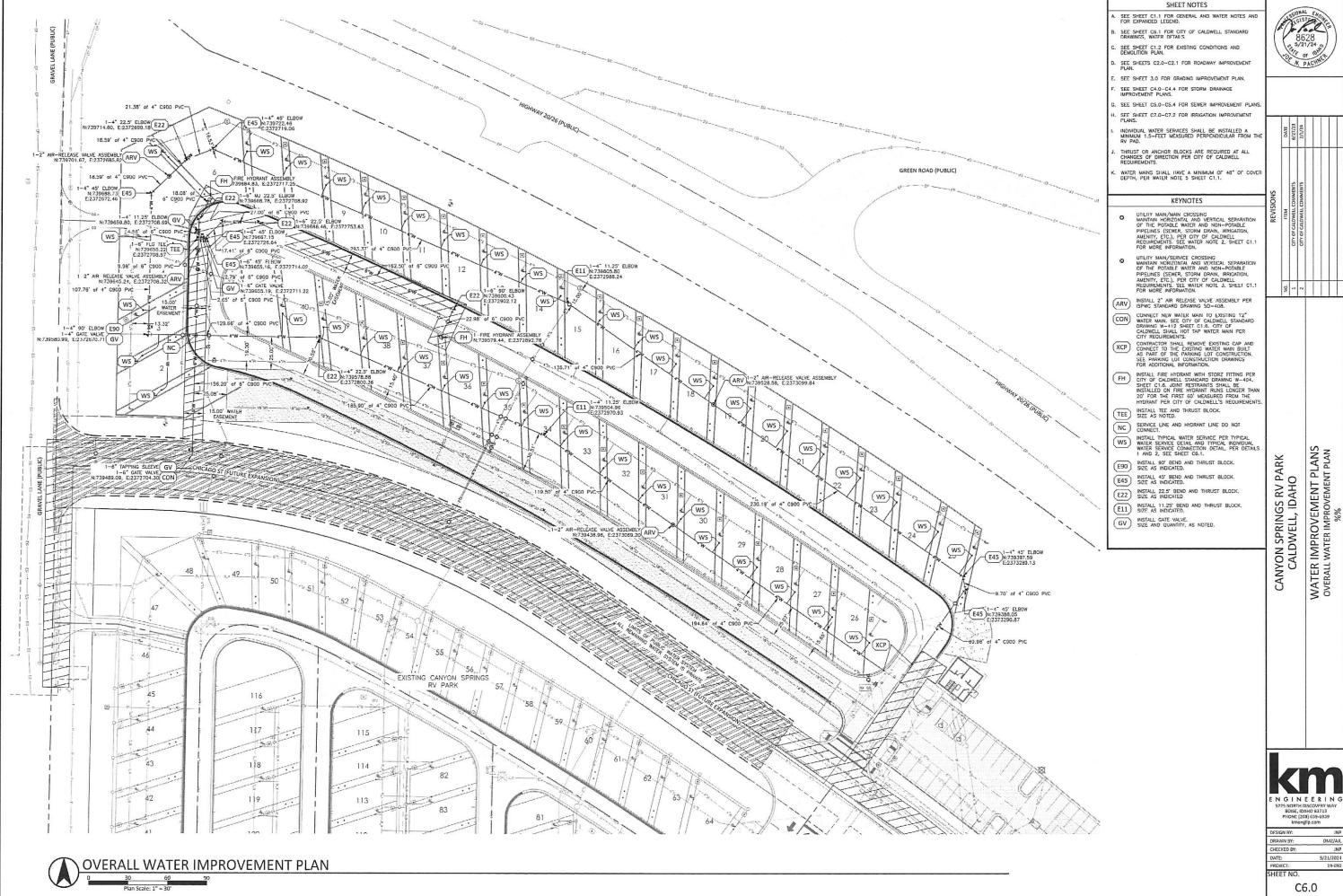


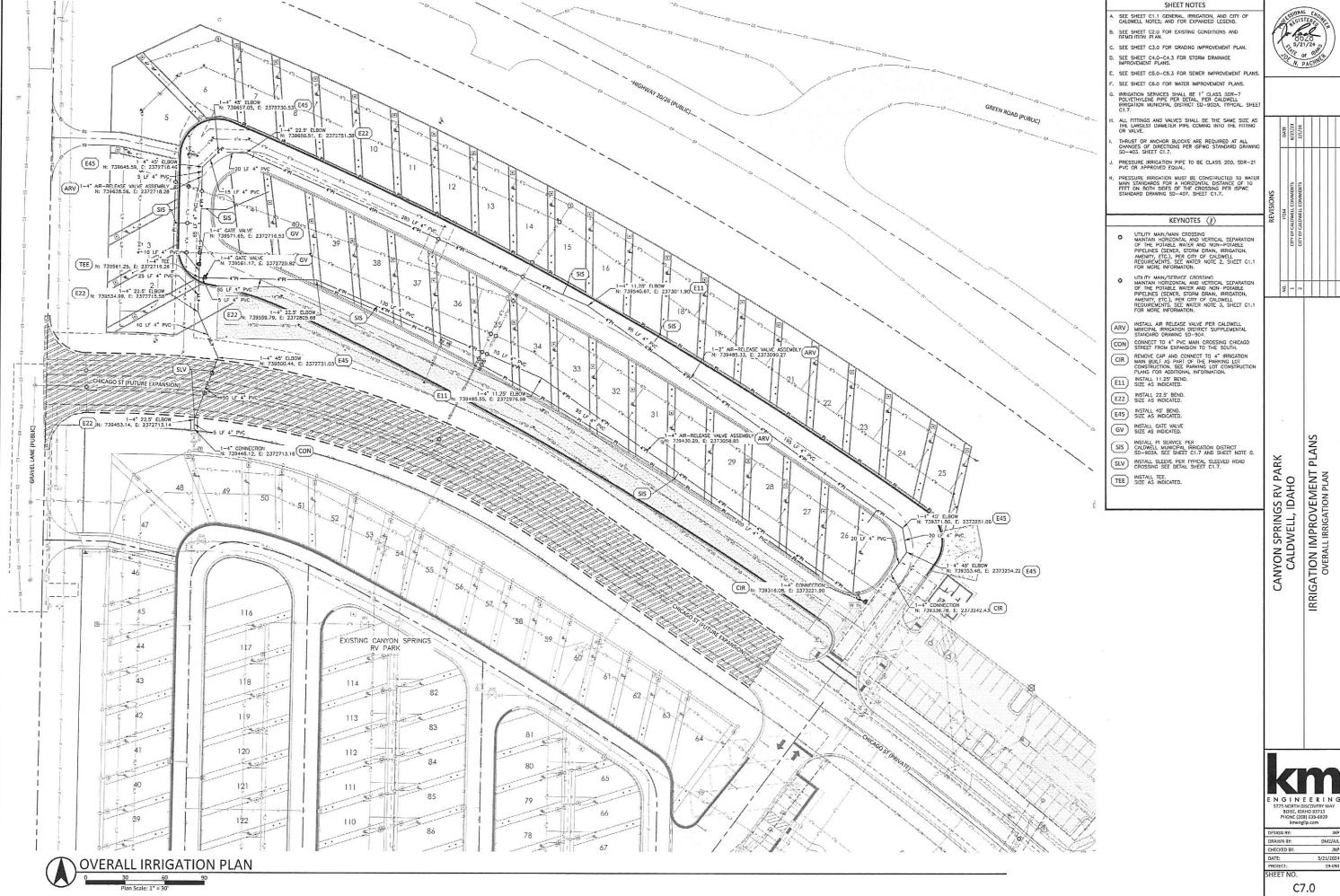
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PLANS CANYON SPRINGS RV PARK CALDWELL, IDAHO SEWER IMPROVEMENT P SEWER ALIGNMENT D PLAN AND PROFILE

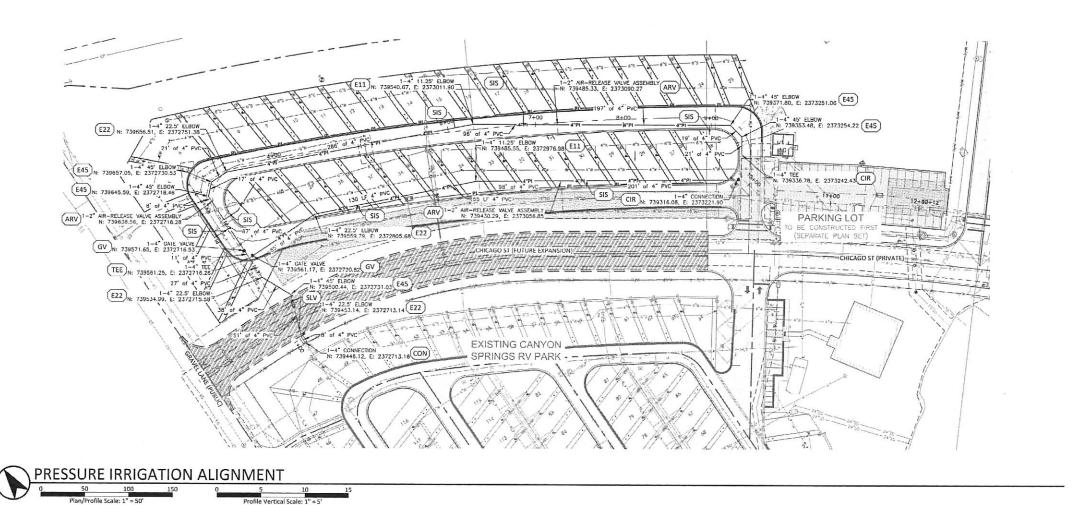
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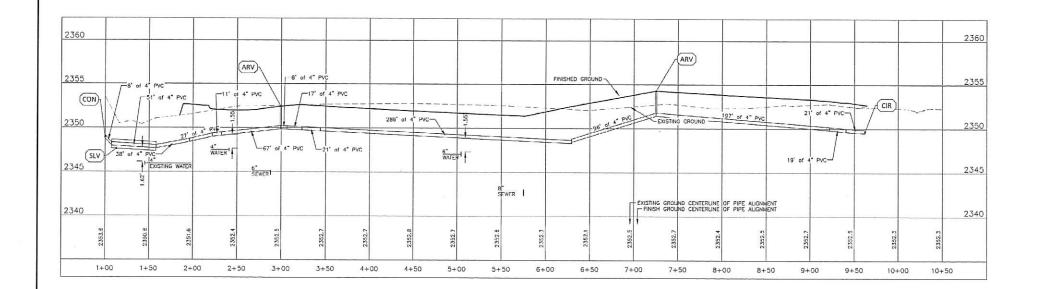
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- SEE SHEET C1.1 GENERAL, IRRIGATION, AND CITY OF CALDWELL NOTES; AND FOR EXPANDED LEGEND.
- SEE SHEET C1.2 FOR EXISTING CONDITIONS AND DEMOLITION PLAN.
- SEE SHEET C2.0-C2.1 FOR ROADWAY IMPROVEMENT PLAN.
- SEE SHEET C3.0 FOR GRADING IMPROVEMENT PLAN.
- SEE SHEET C4.0-C4.4 FOR STORM DRAINAGE IMPROVEMENT PLANS.
- SEE SHEET C5.0-C5.4 FOR SEWER IMPROVEMENT PLANS
- SEE SHEET C6.0-C6.1 FOR WATER IMPROVEMENT PLANS.
- IRRICÁTION SERVICES SHALL BE 1" CLASS SDR-7 POLYETHYLENE PIPE PER DETAIL, PER CALDWELL IRRIGATION MUNICIPAL DISTRICT SD-902A, TYPICAL, SHEET C/1.2.
- ALL FITTINGS AND VALVES SHALL BE THE SAME SIZE AS THE LARGEST DIAMETER PIPE COMING INTO THE FITTING OR VALVE.
- THRUST OR ANCHOR BLOCKS ARE REQUIRED AT ALL CHANGES OF DIRECTIONS PER ISPWC STANDARD DRAWING SD-403. SHEET G1.7.
- PRESSURE IRRIGATION MUST BE CONSTRUCTED TO WATER MAIN STANDARDS FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING PER ISPWC STANDARD DRAWING SD-407. SHEET C7.2.

KEYNOTES (1)

- O UTILITY MAIN/MAIN CROSSING MAINTAIN HORIZONTAL AND VERTICAL SEPARATION OF THE POTABLE WARER AND NON-POTABLE PIPELINES (SEWER, STORM DRAIN, IRRIGATION, AMENITY, ETC.), PER CITY OF CAUDWALL REQUIREMENTS. SEE MAKER NOTE 2, SHEET C1.1 FOR MORE INFORMATION.
- UTILITY MAIN/SERVICE CROSSING MAINTAIN HORIZONTAL AND VERTICAL SEPARATION OF THE POTABLE WATER AND NON-POTABLE PIPELINES (SEWER, STORM DRAIN, IRRIGATION, AMENITY, ETC.), PER CITY OF CALDWELL REQUIREMENTS. SEE WATER NOTE 3, SHEET C1.1 FOR MORE INFORMATION.
- ARV INSTALL AIR RELEASE VALVE PER CALDWELL MINICIPAL IRRICATION DISTRICT SUPPLEMENTAL STANDARD DRAWING SD-904.
- CON CONNECT TO 4" PVC MAIN CROSSING CHICAGO STREET FROM EXPANSION TO THE SOUTH.
- CIR REMOVE CAP AND CONNECT TO 6" IRRIGATION MAIN CROSSING SPRING LAKE DR. SEE CANYON SPRINGS RV PARK SOUTH EXPANSION PLANS.
- (E11) INSTALL (MJxMJ) 11.25' BEND. SIZE AS INDICATED.
- E22) INSTALL (MJxMJ) 22.5 BEND. SIZE AS INDICATED.
- E45 INSTALL (MJxMJ) 45' BEND. SIZE AS INDICATED.
- GV INSTALL (MJxMJ) GATE VALVE SIZE AS INDICATED.
- SIS INSTALL PI SERVICE PER CALDWELL MUNICIPAL IRRIGATION DISTRICT SD-902A. SEE SHEET C7.2 AND SHEET NOTE C.
- SLV INSTALL SLEEVE PER TYPICAL SLEEVED ROAD CROSSING SEE DETAIL SHEET C7.2.
- TEE INSTALL TEE. SIZE AS INDICATED. (MJxMJxMJ).

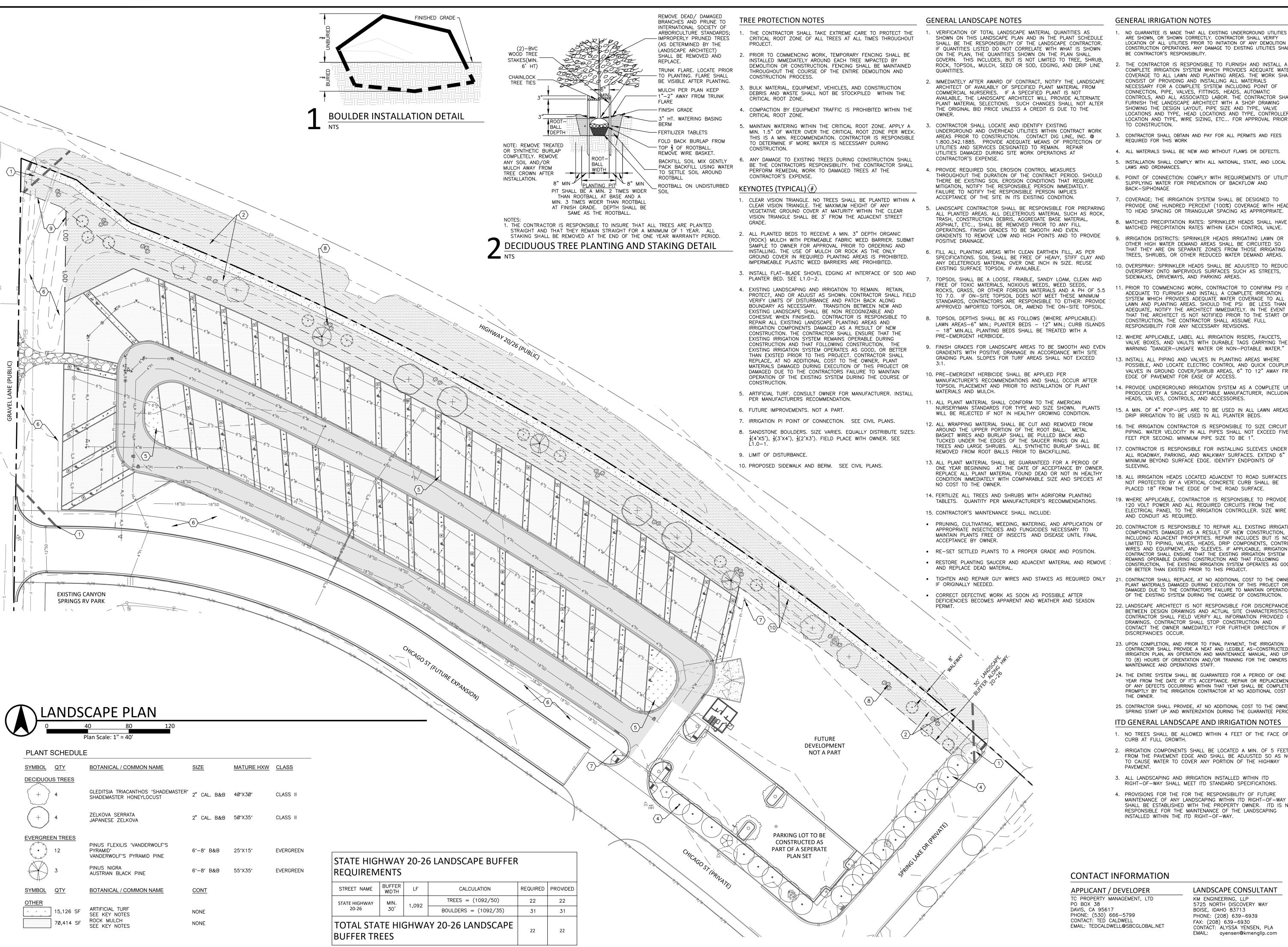
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IRRIGATION IMPROVEMENT PLANS PRESSURE IRRIGATION ALIGNMENT PLAN & PROFILE CANYON SPRINGS RV PARK CALDWELL, IDAHO

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C7.1



- **GENERAL IRRIGATION NOTES**
- 1. NO GUARANTEE IS MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN, OR SHOWN CORRECTLY. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR IS RESPONSIBLE TO FURNISH AND INSTALL A COMPLETE IRRIGATION SYSTEM WHICH PROVIDES ADEQUATE WATER COVERAGE TO ALL LAWN AND PLANTING AREAS. THE WORK SHALL CONSIST OF PROVIDING AND INSTALLING ALL MATERIALS NECESSARY FOR A COMPLETE SYSTEM INCLUDING POINT OF CONNECTION, PIPE, VALVES, FITTINGS, HEADS, AUTOMATIC CONTROLS, AND ALL ASSOCIATED LABOR. THE CONTRACTOR SHALL FURNISH THE LANDSCAPE ARCHITECT WITH A SHOP DRAWING SHOWING THE DESIGN LAYOUT. PIPE SIZE AND TYPE, VALVE LOCATIONS AND TYPE, HEAD LOCATIONS AND TYPE, CONTROLLER LOCATION AND TYPE, WIRE SIZING, ETC... FOR APPROVAL PRIOR
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND FEES REQUIRED FOR THIS WORK
- 4. ALL MATERIALS SHALL BE NEW AND WITHOUT FLAWS OR DEFECTS.
- LAWS AND ORDINANCES. 6. POINT OF CONNECTION: COMPLY WITH REQUIREMENTS OF UTILITY
- SUPPLYING WATER FOR PREVENTION OF BACKFLOW AND BACK-SIPHONAGE
- 7. COVERAGE; THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE ONE HUNDRED PERCENT (100%) COVERAGE WITH HEAD
- TO HEAD SPACING OR TRIANGULAR SPACING AS APPROPRIATE. 8. MATCHED PRECIPITATION RATES: SPRINKLER HEADS SHALL HAVE
- IRRIGATION DISTRICTS: SPRINKLER HEADS IRRIGATING LAWN OR OTHER HIGH WATER DEMAND AREAS SHALL BE CIRCUITED SO THAT THEY ARE ON SEPARATE ZONES FROM THOSE IRRIGATING TREES, SHRUBS, OR OTHER REDUCED WATER DEMAND AREAS.
- 10. OVERSPRAY: SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES SUCH AS STREETS, SIDEWALKS, DRIVEWAYS, AND PARKING AREAS.
- 11. PRIOR TO COMMENCING WORK, CONTRACTOR TO CONFIRM PSI IS ADEQUATE TO FURNISH AND INSTALL A COMPLETE IRRIGATION SYSTEM WHICH PROVIDES ADEQUATE WATER COVERAGE TO ALL LAWN AND PLANTING AREAS. SHOULD THE PSI BE LESS THAN ADEQUATE, NOTIFY THE ARCHITECT IMMEDIATELY. IN THE EVENT THAT THE ARCHITECT IS NOT NOTIFIED PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY NECESSARY REVISIONS.
- 12. WHERE APPLICABLE, LABEL ALL IRRIGATION RISERS, FAUCETS, VALVE BOXES, AND VAULTS WITH DURABLE TAGS CARRYING THE WARNING "DANGER-UNSAFE WATER OR NON-POTABLE WATER."
- 13. INSTALL ALL PIPING AND VALVES IN PLANTING AREAS WHERE POSSIBLE, AND LOCATE ELECTRIC CONTROL AND QUICK COUPLING VALVES IN GROUND COVER/SHRUB AREAS, 6" TO 12" AWAY FROM EDGE OF PAVEMENT FOR EASE OF ACCESS.
- 14. PROVIDE UNDERGROUND IRRIGATION SYSTEM AS A COMPLETE UNIT PRODUCED BY A SINGLE ACCEPTABLE MANUFACTURER, INCLUDING HEADS, VALVES, CONTROLS, AND ACCESSORIES.
- 15. A MIN. OF 4" POP-UPS ARE TO BE USED IN ALL LAWN AREAS. DRIP IRRIGATION TO BE USED IN ALL PLANTER BEDS.
- 16. THE IRRIGATION CONTRACTOR IS RESPONSIBLE TO SIZE CIRCUIT PIPING. WATER VELOCITY IN ALL PIPES SHALL NOT EXCEED FIVE FEET PER SECOND. MINIMUM PIPE SIZE TO BE 1".
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING SLEEVES UNDER ALL ROADWAY, PARKING, AND WALKWAY SURFACES. EXTEND 6" MINIMUM BEYOND SURFACE EDGE. IDENTIFY ENDPOINTS OF SLEEVING.
- ALL IRRIGATION HEADS LOCATED ADJACENT TO ROAD SURFACES NOT PROTECTED BY A VERTICAL CONCRETE CURB SHALL BE PLACED 18" FROM THE EDGE OF THE ROAD SURFACE.
- 19. WHERE APPLICABLE, CONTRACTOR IS RESPONSIBLE TO PROVIDE 120 VOLT POWER AND ALL REQUIRED CIRCUITS FROM THE ELECTRICAL PANEL TO THE IRRIGATION CONTROLLER. SIZE WIRE AND CONDUIT AS REQUIRED.
- 20. CONTRACTOR IS RESPONSIBLE TO REPAIR ALL EXISTING IRRIGATION COMPONENTS DAMAGED AS A RESULT OF NEW CONSTRUCTION. INCLUDING ADJACENT PROPERTIES. REPAIR INCLUDES BUT IS NOT LIMITED TO PIPING, VALVES, HEADS, DRIP COMPONENTS. CONTROL WIRES AND EQUIPMENT, AND SLEEVES. IF APPLICABLE, IRRIGATION CONTRACTOR SHALL ENSURE THAT THE EXISTING IRRIGATION SYSTEM REMAINS OPERABLE DURING CONSTRUCTION AND THAT FOLLOWING CONSTRUCTION, THE EXISTING IRRIGATION SYSTEM OPERATES AS GOOD, OR BETTER THAN EXISTED PRIOR TO THIS PROJECT.
- CONTRACTOR SHALL REPLACE, AT NO ADDITIONAL COST TO THE OWNER, PLANT MATERIALS DAMAGED DURING EXECUTION OF THIS PROJECT OR DAMAGED DUE TO THE CONTRACTORS FAILURE TO MAINTAIN OPERATION OF THE EXISTING SYSTEM DURING THE COARSE OF CONSTRUCTION.
- 22. LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR DISCREPANCIES BETWEEN DESIGN DRAWINGS AND ACTUAL SITE CHARACTERISTICS. CONTRACTOR SHALL FIELD VERIFY ALL INFORMATION PROVIDED ON DRAWINGS. CONTRACTOR SHALL STOP CONSTRUCTION AND CONTACT THE OWNER IMMEDIATELY FOR FURTHER DIRECTION IF DISCREPANCIES OCCUR.
- 23. UPON COMPLETION, AND PRIOR TO FINAL PAYMENT, THE IRRIGATION CONTRACTOR SHALL PROVIDE A NEAT AND LEGIBLE AS-CONSTRUCTED IRRIGATION PLAN, AN OPERATION AND MAINTENANCE MANUAL, AND UP TO (8) HOURS OF ORIENTATION AND/OR TRAINING FOR THE OWNERS MAINTENANCE AND OPERATIONS STAFF.
- 24. THE ENTIRE SYSTEM SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF IT'S ACCEPTANCE. REPAIR OR REPLACEMENT OF ANY DEFECTS OCCURRING WITHIN THAT YEAR SHALL BE COMPLETED PROMPTLY BY THE IRRIGATION CONTRACTOR AT NO ADDITIONAL COST TO
- THE OWNER. 25. CONTRACTOR SHALL PROVIDE, AT NO ADDITIONAL COST TO THE OWNER, SPRING START UP AND WINTERIZATION DURING THE GUARANTEE PERIOD.
- ITD GENERAL LANDSCAPE AND IRRIGATION NOTES 1. NO TREES SHALL BE ALLOWED WITHIN 4 FEET OF THE FACE OF
- CURB AT FULL GROWTH. 2. IRRIGATION COMPONENTS SHALL BE LOCATED A MIN. OF 5 FEET FROM THE PAVEMENT EDGE AND SHALL BE ADJUSTED SO AS NOT TO CAUSE WATER TO COVER ANY PORTION OF THE HIGHWAY
- 3. ALL LANDSCAPING AND IRRIGATION INSTALLED WITHIN ITD RIGHT-OF-WAY SHALL MEET ITD STANDARD SPECIFICATIONS.
- 4. PROVISIONS FOR THE FOR THE RESPONSIBILITY OF FUTURE MAINTENANCE OF ANY LANDSCAPING WITHIN ITD RIGHT-OF-WAY SHALL BE ESTABLISHED WITH THE PROPERTY OWNER. ITD IS NOT RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPING INSTALLED WITHIN THE ITD RIGHT-OF-WAY.

CONTACT INFORMATION

APPLICANT / DEVELOPER TC PROPERTY MANAGEMENT, LTD PHONE: (530) 666-5799 CONTACT: TED CALDWELL EMAIL: TEDCALDWELL@SBCGLOBAL.NET

LANDSCAPE CONSULTANT KM ENGINEERING, LLP 5725 NORTH DISCOVERY WAY BOISE, IDAHO 83713 PHONE: (208) 639-6939 FAX: (208) 639-6930 CONTACT: ALYSSA YENSEN, PLA EMAIL: ayensen@kmengllp.com



5725 NORTH DISCOVERY WAY BOISE, IDAHO 83713 PHONE (208) 639-6939 kmengllp.com DESIGN BY: DRAWN BY

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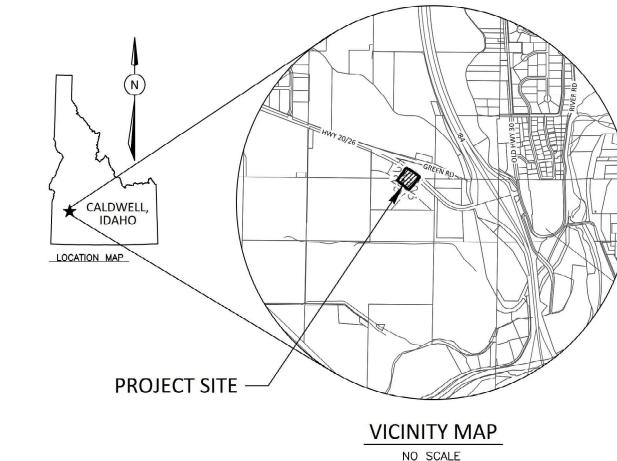
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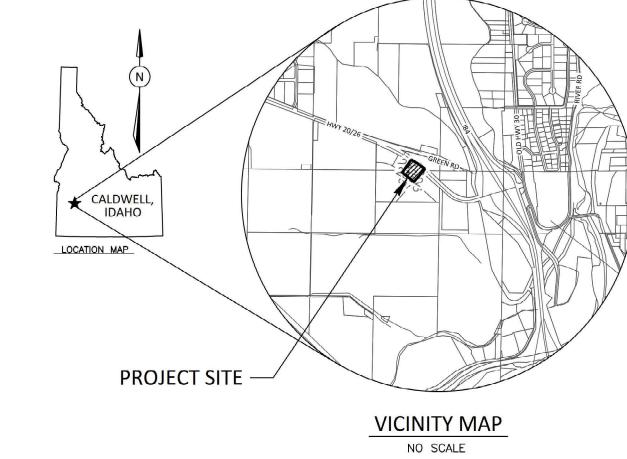
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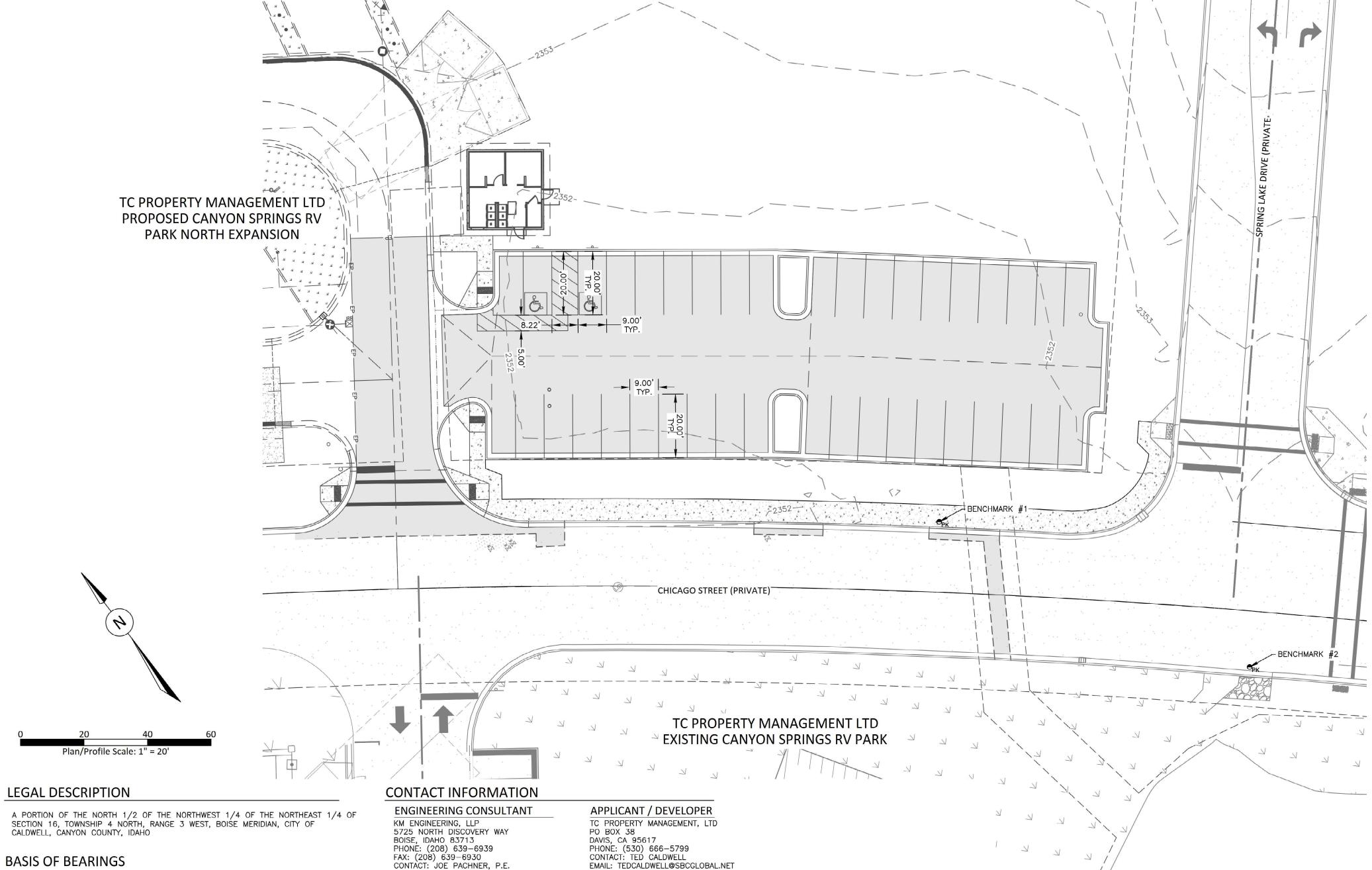
5/21/2024

	BENCHMARK (NAVD 88 DATUM)								
POINT NUMBER	POINT STYLE	NORTHING	EASTING	ELEVATION (NAVD 88)	DESCRIPTION				
1	● _{PK}	739153.0000	2373331.8700	2351.979	PK NAIL				
2	● _{PK}	739057.2360	2373381.5270	2351.490	PK NAIL				

CANYON SPRINGS PARKING LOT CALDWELL, ID **CONSTRUCTION PLANS**







ALL SEWER, WATER, PI, AND STORM DRAIN LINES AND FACILITIES WITHIN THIS DEVELOPMENT ARE TO BE PRIVATE. CITY WILL ONLY MAINTAIN EXISTING SEWER MAINLINE IN PROPOSED FUTURE RIGHT OF WAY AND TO BACK SIDE OF PROPOSED WATER METERS. ALL FIRE HYDRANTS AND MAIN LINE SERVING SAID FIRE HYDRANTS SHALL BE DEDICATED TO THE PUBLIC TO BE

OWNED AND MAINTAINED BY THE CITY WITHIN A 15' WATER EASEMENT.

SHEET NO.	SHEET TITLE	
C1.0	GENERAL IMPROVEMENT PLANS	COVER SHEET
C1.1	GENERAL IMPROVEMENT PLANS	NOTES
C1.2	GENERAL IMPROVEMENT PLANS	EROSION AND SEDIMENT CONTROL PLAN
C2.0	GENERAL IMPROVMENT PLANS	DEMOLITION PLANS
C3.0	GRADING IMPROVEMENT PLANS	OVERALL GRADING PLANS
C4.1	UTILITY AND DRAINAGE IMPROVEMENT PLANS	OVERALL UTILITY AND DRAINAGE PLANS
C4.2	UTILITY AND DRAINAGE IMPROVEMENT PLANS	STORM DRAIN ALIGNMENT A
C4.3	UTILITY AND DRAINAGE IMPROVEMENT PLANS	STORM DRAIN ALIGNMENT B
C5.1	PRESSURE IRRIGATION IMPROVEMENT PLANS	PRESSURE IRRGIAITON PLAN AND PROFILE



CANYON SPRINGS PARKIN CALDWELL, ID

GENERAL IMPROVEMENT COVER SHEET

Digitally signed by Joe Pachner, P.E.

Date: 2024.10.24 12:42:05 -06'00'

kmen	giip.com
DESIGN BY:	JNP
DRAWN BY:	AJL
CHECKED BY:	JNP
DATE:	10/18/24
PROJECT:	23-220
SHEET NO.	

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY WAS ESTABLISHED BY GPS TECHNIQUES. PROJECTED TO THE IDAHO STATE PLANE COORDINATE SYSTEM, NAD 83 DATUM, WEST ZONE. ALL BEARINGS SHOWN ARE ON GRID AZIMUTH AND ALL DISTANCES SHOWN ARE AT GROUND. THE BEARING FROM THE FOUND BRASS CAP MONUMENT MARKING THE EAST 16TH CORNER COMMON TO SECTIONS 16 AND 9 TO THE FOUND ALUMINUM CAP MONUMENT MARKING THE NORTHEAST CORNER OF SECTION 16 IS SOUTH 89'30'11" EAST, AT A GROUND DISTANCE OF 1,329.79 FEET.

SITE DESCRIPTION

TOTAL PARKING SPACES TOTAL ACRES

39 SPACES 0.77 ACRES

GENERAL NOTES

- THE CONTRACTOR SHALL CONSTRUCT ALL IMPROVEMENTS IN ACCORDANCE WITH THE PLANS STAMPED "APPROVED FOR CONSTRUCTION" BY ALL REQUIRED GOVERNING AGENCIES. THESE PLANS WILL BE PROVIDED TO THE CONTRACTOR BY THE ENGINEER PRIOR TO CONSTRUCTION. WORK SHALL NOT BE DONE WITHOUT THE CURRENT SET OF APPROVED PLANS.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS (ISPWC), PROPOSED ACCESSIBILITY GUIDELINES FOR PEDESTRIAN FACILITIES IN THE PUBLIC RIGHT-OF-WAY, AND THE CITY OF CALDWELL SUPPLEMENTAL SPECIFICATIONS. WHERE DISCREPANCIES EXIST BETWEEN THESE SPECIFICATIONS THE MORE STRINGENT OF THE THREE SHALL BE
- WORK SUBJECT TO APPROVAL BY ANY POLITICAL SUBDIVISION OR AGENCY MUST BE APPROVED PRIOR TO (A) BACKFILLING TRENCHES FOR PIPE (B) PLACING OF AGGREGATE BASE (C) PLACING OF CONCRETE; PLACING OF ASPHALT PAVING. WORK DONE WITHOUT SUCH APPROVAL SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF PERFORMING THE WORK IN AN ACCEPTABLE MANNER.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BY CALLING DIGLINE AT PHONE # (800) 342-1585 BEFORE COMMENCING WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING UNDERGROUND UTILITIES.
- UTILITIES ON THIS PLAN ARE BASED UPON DIGLINE MARKS, RECORD DRAWINGS, AND FACILITY MAPS. KM ENGINEERING MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHER, KM ENGINEERING DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED AND HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PRESERVE AND PROTECT EXISTING FACILITIES NOT SCHEDULD FOR REMOVAL AND COORDINATE WITH THE PROJECT ENGINEER IF UNEXPECTED FACILITIES ARE ENCOUNTERED.
- 6. THE CONTOURS AND BENCHMARK ELEVATION ARE BASED ON THE NAVD 88 VERTICAL DATUM.
- PROJECT BENCHMARKS SHALL BE ESTABLISHED THROUGHOUT THE SITE BY THE SURVEYOR AND WILL BE PROVIDED TO THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL PROTECT ALL SURVEY MONUMENTS AND BENCHMARKS FROM DISTURBANCE THROUGHOUT CONSTRUCTION. DAMAGED BENCHMARKS WILL BE REPLACED BY THE PROJECT SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE SAFETY REQUIREMENTS OF ANY JURISDICTIONAL BODY. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES AND TRAFFIC CONTROL WITHIN AND AROUND THE CONSTRUCTION AREA.
- 10. THE CONTRACTOR SHALL LIMIT CONSTRUCTION ACCESS TO THE OWNER APPROVED ACCESS POINTS.
- 11. ALL NATURAL SLOPES SHALL BE A MAXIMUM OF 2:1, UNLESS OTHERWISE STATED ON THIS PLAN.
 ASPHALT MINIMUM GRADE IS 1%. CONCRETE MINIMUM GRADE IS 0.4%. FINISH GRADE SHALL SLOPE AWAY FROM ALL BUILDINGS.
- 12. WHERE NOTED, EXISTING TEST PITS/MONITORING WELLS SHALL BE RETAINED AND PROTECTED DURING
- 13. ALL MATERIAL FURNISHED ON OR FOR THE PROJECT MUST MEET THE MINIMUM REQUIREMENTS OF THE APPROVING AGENCIES OR AS SET FORTH HEREIN, WHICHEVER IS MORE RESTRICTIVE. CONTRACTORS MUST FURNISH PROOF THAT ALL MATERIALS INSTALLED ON THIS PROJECT MEET THE REQUIREMENTS AT THE REQUEST OF THE AGENCY AND/OR THE ENGINEER.
- 14. JOINT TRENCH CONDUIT WITH PULL CORD, 32" BURIAL DEPTH (PER SL-1136).
- 15. THE ENGINEER OF RECORD (DESIGN CIVIL ENGINEER) SHALL BE RESPONSIBLE FOR PROVIDING THE
- CONSTRUCTION OBSERVATIONS (INSPECTIONS) AT SUFFICIENT INTERVALS TO INSURE THAT AL CONSTRUCTION HAS BEEN COMPLETED IN ACCORDANCE WITH THE PLANS, I.S.P.W.C. AND CITY OF -CONSTRUCTION OBSERVATION DIARY (INSPECTION LOGS) -REPRODUCIBLE (MYLAR) RECORD DRAWINGS -ENGINEERS STATEMENT (ENGINEERS CERTIFICATE) -ENGINEERS CERTIFICATION (STAMPED & SIGNED)
- 16. NO ASPHALT SHALL BE PLACED WITHOUT ENGINEER AND DEVELOPER FIRST RECEIVING AN APPROVAL TO PAVE LETTER FROM THE CITY OF CALDWELL.
- 17. ALL VALVE CANS, WATER METERS, AND MANHOLES SHALL BE LOCATED OUTSIDE ALL CURB, GUTTER, SIDEWALKS, AND VALLEY GUTTERS.
- 18. ALL PEDESTRIAN ACCESS ROUTES AND FACILITIES MUST FULLY COMPLY WITH ALL LOCAL, STATE, AND FEDERAL GUIDELINES/REQUIREMENTS.

GRADING NOTES

- NO GRADING WORK SHALL OCCUR UNTIL THE OWNER HAS FILED A NOTICE OF INTENT FOR CONSTRUCTION ACTIVITY WITH THE EPA.
- ALL EARTHWORK INCLUDING CLEARING, GRUBBING, EXCAVATION, EMBANKMENT, BACKFILL, DEWATERING AND EROSION CONTROL SHALL MEET THE SPECIFICATIONS OF SECTION 200 OF THE ISPWC AS WELL AS THE SPECIFICATIONS AND RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEERING REPORT.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE FACILITIES WITH THE CONSTRUCTION AREA UNTIL TEMPORARY AND/OR PERMANENT DRAINAGE IMPROVEMENTS ARE IN PLACE AND FUNCTIONING
- IF REQUIRED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A SHORT TERM ACTIVITY EXEMPTION PERMIT FROM THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ). THE CONTRACTOR SHALL SUBMIT TO DEQ A DEWATERING PLAN WHICH OUTLINES THE LOCATION OF PROPOSED BMPS AND THE SEQUENCING OF THE DEWATERING ACTIVITIES. ALL CONSTRUCTION WATER GENERATED FROM EXCAVATION SHALL BE FREE OF SEDIMENT AND DEBRIS BEFORE IT LEAVES THE
- STRIP AND STOCKPILE TOPSOIL AND DISPOSE OF DEBRIS OFF-SITE. THE DEPTH OF STRIPPING COULD VARY IN THE FIELD DEPENDING ON THE DEPTH OF THE ROOT ZONE, SOIL COMPOSITION INCLUDING SOIL TYPE, MOISTURE CONTENT AND STABILITY AND THE WEATHER CONDITIONS DURING CONSTRUCTION. STRIPPING DEPTHS SHALL BE DIRECTED BY THE ONSITE GEOTECHNICAL CONSULTANT. LOCATION OF STOCKPILED MATERIAL SHALL BE COORDINATED WITH THE OWNER AND ENGINEER PRIOR TO PLACEMENT. REMOVE AND DISPOSE OFF—SITE AT AN APPROVED LOCATION ANY AND ALL EXCESS
- PRIOR TO PLACEMENT OF FILL MATERIAL, THE CONTRACTOR SHALL PREPARE THE SUBGRADE AS RECOMMENDED IN THE GEOTECHNICAL ENGINEERING REPORT. THE GEOTECHNICAL ENGINEERING CONSULTANT SHALL PERFORM INSPECTION AND TESTING OF THE SUBGRADE, ALONG WITH THE PLACEMENT OF THE SUBGRADE IN THE GEOTECHNICAL

DEMOLITION NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING DEMOLITION WITH THE APPROPRIATE PHASE OF
- CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEMOLISHED MATERIALS AT AN APPROVED OFF—SITE LOCATION. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THESE MATERIALS AFTER REMOVAL FROM THE SITE.
- CONTRACTOR SHALL BE REQUIRED TO PROVIDE A WATER TRUCK, AS NECESSARY, FOR DUST ABATEMENT DURING DEMOLITION AND REMOVAL OPERATIONS.
- CONTRACTOR SHALL CONDUCT CONSTRUCTION OPERATIONS TO PREVENT ANY SOIL OR OBJECTIONABLE MATERIAL RUNOFF FROM LEAVING THE SITE, OR ENTERING THE PUBLIC RIGHTS-OF-WAY.
- ITEMS SHOWN ON THE EXISTING CONDITIONS PLAN REPRESENT THE SITE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO DETERMINE WHICH TREES WITHIN THE
- PROJECT LIMITS ARE TO REMAIN AND WHICH ARE TO BE REMOVED.
- ALL WELL ABANDONMENT SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE IDAHO DEPARTMENT OF WATER RESOURCES (IDWR) AND IDAHO CODE. THE CONTRACTOR SHALL RETAIN A LICENSED WELL DRILLER FOR ABANDONMENT.

TO ABANDON OR RELOCATE ALL OTHER OVERHEAD POWER LINES AND POLES AS REQUIRED.

EXISTING OVERHEAD POWERLINES SHALL BE RETAINED AND PROTECTED AS NEEDED TO MAINTAIN SERVICE TO ADJACENT PROPERTIES. THE CONTRACTOR SHALL COORDINATE WITH IDAHO POWER COMPANY

CITY OF CALDWELL WATER NOTES

- THE WATER SYSTEM SHALL BE CONSTRUCTED TO CONFORM TO THE STANDARDS SET FORTH IN THE "IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS", THE 2015 EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPWC), THE CITY OF CALDWELL SUPPLEMENTAL SPECIFICATIONS TO THE ISPWC, AND THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ).
- THE HORIZONTAL SEPARATION OF POTABLE WATER MAINS AND NON-POTABLE WATER MAINS (SANITARY SEWER, STORM DRAIN, AND IRRIGATION) SHALL BE A MINIMUM OF TEN (10) FEET. WHERE IT IS NECESŚARY FOR A PÓTABLE WATER MÁIN AND NON-POTABLE WATER MAÌN TO CROSS WITH LESS THAN EIGHTEEN (18) INCHES OF VERTICAL SEPARATION, THE CROSSING SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 542.07 OF THE IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS (IDAPA 58.01.08) AND SECTION 430.02 OF THE WASTEWATER RULES (IDAPA 58.01.16).
- 3. THE HORIZONTAL SEPARATION OF NON-POTABLE SERVICES AND POTABLE WATER SERVICES OR POTABLE WATER MAINS SHALL BE A MINIMUM OF SIX (6) FEET. WHERE IT IS NECESSARY FOR A POTABLE WATER MAIN AND NON-POTABLE WATER MAIN TO CROSS WITH LESS THAN EIGHTEEN (18) INCHES OF VERTICAL SEPARATION, THE CROSSING SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 542.07 OF THE IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS (IDAPA 58.01.08) AND SECTION 430.02 OF THE WASTEWATER RULES (IDAPA 58.01.16).
- 4. WATER DISTRIBUTION MAINS SHALL BE CONSTRUCTED WITH CLASS 150 PVC (POLYVINYL-CHLORIDE) PIPE, CONFORMING TO AWWA C-900, SDR 18 SPECIFICATIONS. THE PIPE SHALL BE INSTALLED IN WORKMANLIKE MANNER BY PERSONS QUALIFIED TO PERFORM SAID WORK AND SHALL BE IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ALL WORK AND MATERIALS MUST CONFORM TO CURRENT REQUIREMENTS OF THE DISTRICT
- ALL WATER MAINS SHALL HAVE A MINIMUM OF FOUR (4) FEET OF COVER AND A MAXIMUM DEPTH OF FIVE (5) FEET, UNLESS OTHERWISE NOTED. AFTER INSTALLATION OF THE WATER MAINS, THE TRENCHES SHALL BE COMPACTED TO NINETY-FIVE (95) PERCENT OF STANDARD PROCTOR MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-698. ALL MAINS SHALL BE PRESSURE TESTED, FLUSHED AND DISINFECTED IN ACCORDANCE WITH THE CURRENT EDITION OF THE ISPWC AND CITY OF CALDWELL SUPPLEMENTAL SPECIFICATIONS TO THE ISPWC. ALL TESTING SHALL BE APPROVED BY THE CITY OF CALDWELL BEFORE CONNECTING TO THE MUNICIPAL SYSTEM.
- 6. NO THRUST BLOCKS TO BE INSTALLED, CONTRACTOR SHALL LOCK ALL FITTINGS WITH MEGA LUGS AND BELL RESTRAINTS, AT ALL TEES, CROSSES, VALVES, HYDRANTS, AND ELBOWS 11-1/4" AND GREATER.
- 7. NO. 12 DIRECT BURIAL WIRE SHALL BE PLACED ALONG THE NORTH AND EAST SIDE OF WATER MAINS AND SERVICE LINES AS SHOWN ON STANDARD DRAWING SD-401, ISPWC CURRENT EDITION. WIRE SHALL BE INSTALLED IN THE GATE VALVE RISER SO IT IS ACCESSIBLE FROM ABOVE BUT DOES NOT INTERFERE
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CONTINUOUS WATER SERVICE TO ALL EXISTING WATER USERS AFFECTED BY CONSTRUCTION. IF WATER SERVICE MUST BE INTERRUPTED, THE CONTRACTOR SHALL COORDINATE WITH THE PUBLIC WORKS INSPECTOR.
- THE CONTRACTOR IS RESPONSIBLE FOE MAKING ALL HOT TAP CONNECTIONS ON EXISTING WATER MAINS, AND SHALL CONTACT THE CITY OF CALDWELL TO HAVE A CITRY REPRESENTATIVE PRESENT DURING THE HOT TAPPING PROCEDURE. THE CITY OF CALDWELL WATER DEPARTMENT SHALL BE PRESENT WHEN OPERATING EXISTING "IN SERVICE" WATER VALVES. THIS INCLUDES FLUSHING OF MAINS AND ALL PRESSURE AND WATER QUALITY TESTS.
- 10. CONTRACTOR SHALL BLOW OFF EACH DOMESTIC WATER SERVICE WITH CITY INSPECTOR PRESENT PRIOR TO ACCEPTANCE OF THE WATER SYSTEM.
- 11. THE CONTRACTOR SHALL PRESSURE TEST ALL WATER LINES AFTER DISINFECTION AND FLUSHING, BUT PRIOR TO INSTALLATION OF OTHER UTILITIES. AFTER ALL UTILITIES ARE INSTALLED AND PRIOR TO PAVING, THE CONTRACTOR SHALL PERFORM A FINAL PRESSURE TEST WITH THE PROJECT ENGINEER IN ATTENDANCE. THE CONTRACTOR SHALL FURNISH ALL PERSONNEL AND EQUIPMENT NECESSARY TO CONDUCT THE TEST. CONTRACTOR SHALL NOTIFY THE CITY OF CALDWELL AND PROJECT ENGINEER 24 HOURS IN ADVANCE TO WITNESS FINAL PRESSURE TEST.
- 12. FINAL ACCEPTANCE OF ALL WATER UTILITY CONSTRUCTION WILL BE BY THE CITY OF CALDWELL
- 13. METER BOX LID (COVER) SHALL BE D&L 2242 WITH NEPTUNE R900 RECESS OPENING (ONE (1) 1-1/2" OPENING). 2-HL RECESS COVER FOR DOUBLE SERVICES.
- 14. ALL ONSITE SEWER AND WATER SERVICES REQUIRE A PLUMBING PERMIT AND SHALL BE REVIEWED AND APPROVED BY THE BUILDING DEPARTMENT PRIOR TO STARTING ANY CONSTRUCTION ONSITE.

CITY OF CALDWELL SEWER NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE PROVISIONS OF THE 2015 EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPWC), CITY OF CALDWELL SUPPLEMENTAL SPECIFICATIONS TO THE ISPWC, WASTEWATER RULES (IDAPA 58.01.16), AND ANY SPECIAL PROVISION FOR CONSTRUCTION ISSUED BY THE DESIGN ENGINEER, WHERE REQUIRED. PRECEDENCE SHALL BE GIVEN TO EACH STANDARD IN ORDER OF THEIR LISTING ABOVE WITH RESPECT TO ANY DISCREPANCIES.
- 2. REFER TO WATER NOTES 2 AND 3 ON THIS SHEET FOR HORIZONTAL AND VERTICAL SEPARATION REQUIREMENTS BETWEEN THE POTABLE WATER MAINS/SERVICES AND NON-POTABLE PRESSURE IRRIGATION
- 3. FINAL APPROVAL AND ACCEPTANCE OF ALL SEWER CONSTRUCTION WILL BE BY CITY OF CALDWELL.
- 4. CITY OF CALDWELL WILL NOT ACCEPT ASBUILT LINES CONSTRUCTED LESS THAN THE "10 STATES STANDARDS"
- 5. ALL EXISTING SERVICES USED FOR THE CURRENT PHASE SHALL BE EXPOSED AND SHOWN TO THE CITY INSPECTOR.
- 6. ALL ONSITE SEWER AND WATER SERVICES REQUIRE A PLUMBING PERMIT AND SHALL BE REVIEWED AND APPROVED BY THE BUILDING DEPARTMENT PRIOR TO STARTING ANY CONSTRUCTION ONSITE. TRAFFIC CONTROL NOTES

1. ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" FOR STREETS AND HIGHWAYS, THE 2015 EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPWC), AND THE CITY OF CALDWELL SUPPLEMENTAL SPECIFICATIONS TO THE ISPWC FOR STREETS AND HIGHWAYS.

- 2. ALL WARNING FLAGS AND FLASHERS SHALL BE CONSIDERED INCIDENTAL TO THE TRAFFIC CONTROL BID
- 3. THE FLAGGERS SHALL BE EQUIPPED WITH TWO WAY RADIOS CAPABLE OF TRANSMITTING A DISTANCE OF 2 MILES AND BATTERIES TO LAST THROUGH EACH DAY OF OPERATION.
- 4. SIGNS AND SIGN STANDS NOT IN USE SHALL BE REMOVED OR LAID DOWN AT LEAST 15 FEET FROM THE EDGE OF THE TRAVEL WAY.
- 5. ONE LANE OF TRAFFIC SHALL BE OPEN TO LOCAL TRAFFIC AT ALL TIMES.
- 6. CONTRACTOR SHALL PROVIDE ALL SIGNAGE NECESSARY TO ALERT THE SURROUNDING PUBLIC OF THE CONSTRUCTION TAKING PLACE. THE CONTRACTOR ASSUMES RESPONSIBILITY FOR THE SIGNS NEEDED
- 7. ALL CONTRACTORS WORKING WITH THE PUBLIC ROAD RIGHT-OF-WAY ARE REQUIRED TO SECURE A RIGHT-OF-WAY CONSTRUCTION PERMIT FROM CANYON HIGHWAY DISTRICT NO. 4 AT LEAST TWENTY-FOUR (24) HOURS PRIOR TO ANY CONSTRUCTION.
- 8. CONTRACTOR SHALL PROVIDE A DETAILED TRAFFIC CONTROL PLAN TO CANYON HIGHWAY DISTRICT NO. 4 FOR APPROVAL PRIOR TO ANY CONSTRUCTION.

CITY OF CALDWELL STORM WATER NOTES

- 1. ALL CONSTRUCTION SHALL CONFORM TO THE PROVISIONS OF THE 2015 EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPWC), CITY OF CALDWELL SUPPLEMENTAL SPECIFICATIONS TO THE ISPWC, AND ANY SPECIAL PROVISION FOR CONSTRUCTION ISSUED BY THE DESIGN ENGINEER, WHERE REQUIRED.
- 2. THE CONTRACTOR SHALL COMPLY WITH ALL THE REQUIREMENTS FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY. THIS INCLUDES IMPLEMENTING THE BMP'S RECOMMENDED IN THE SWPP PLAN PREPARED FOR THIS SITE, REGULAR SITE INSPECTIONS, DOCUMENTATION OF MODIFICATIONS TO THE SWPPP AND OTHER REQUIREMENTS AS SET FORTH IN THE NPDES GENERAL
- 3. A PROOF TEST OF ALL STORM WATER BASINS WILL BE REQUIRED PER CITY OF CALDWELL STORM WATER MANUAL 103.6.5. INSPECTOR SHALL BE NOTIFIED 48 HOURS IN ADVANCE.

CITY OF CALDWELL PRESSURE IRRIGATION NOTES

- 1. ALL PRESSURE IRRIGATION CONSTRUCTION SHALL COMPLY WITH THE 2023 CITY OF CALDWELL MUNICIPAL IRRIGATION SUPPLEMENTAL SPECIFICATIONS TO THE 2015 ISPWC.
- 2. REFER TO WATER NOTES 2 AND 3 ON THIS SHEET FOR HORIZONTAL AND VERTICAL SEPARATION REQUIREMENTS BETWEEN THE POTABLE WATER MAINS/SERVICES AND NON-POTABLE PRESSURE IRRIGATION
- CONTRACTOR SHALL BLOW OFF EACH PRESSURE IRRIGATION SERVICE WITH CITY INSPECTOR PRESENT PRIOR TO ACCEPTANCE OF THE IRRIGATION SYSTEM.
- 4. MAIN LINE COVER SHALL BE A MINIMUM 36" AND MAXIMUM OF 48" PER 1103.1.
- 5. PRESSURE IRRIGATION PURPLE TRACER WIRE SHALL BE INSTALLED PER SECTION 1103.02.
- 6. PRESSURE IRRIGATION PURPLE FINDER TAPE SHALL BE INSTALLED PER SECTION 1103.03. 7. EACH PRESSURE IRRIGATION SERVICE SHALL HAVE A "NON-POTABLE WATER" (AKA, "YUCK" TAG) PER SECTION 1103.08 (IF APPLICABLE).

- **ACRONYMS** CENTERLINE CLEANOUT
- EASTING ELEVATION
- EDGE OF PAVEMENT EXISTING GRADE
- FLOW LINE - GRADE BREAK GRAVITY IRRIGATION
- HIGH POINT INVFRT
- IDAHO STANDARDS FOR PUBLIC WORKS
- CONSTRUCTION STATION OFFSET LEFT
- LINEAR FOOT - LIP OF GUTTER
- LOW POINT MATCH EXISTING
- MONITORING WELL
- NORTHING - OVERHEAD POWER
- POINT OF CURVATURE
- PRESSURE IRRIGATION - POINT ON CURVE
- PRESSURE SEWER POINT OF TANGENCY
- STATION OFFSET RIGHT - RIM OF STRUCTURE
- STORM DRAIN SDMH - STORM DRAIN MANHOLE
- SAND AND GREASE TRAP SANITARY SEWER
- SEWER MANHOLE STA ROADWAY STATION FROM CENTERLINE
- SIDEWALK - TOP BACK OF VERTICAL CURB - TOP BACK OF ROLLED CURB TOP OF CONCRETE
- OVER-EXCAVATE TO PROVIDE 2 MIN. SECTION

TENSAR GEOGRID (TX5)

SOFT SPOT REPAIR

NTS

- 1. TRACK EQUIPMENT ONLY FOR REPAIR WORK
- 3. SOFT SPOT REPAIR DETAIL IS FOR ONSITE REPAIRS ONLY.
- CONTRACTOR TO NOTIFY ENGINEER PRIOR TO REPAIRING ANY SOFT AREAS

LEGEND BOUNDARY LINE PROPOSED IMPROVEMENTS — — OFFSITE BOUNDARY LINE ----SAWCUT — — — — — SETBACKS — · — · — LIMITS OF GRADING ——s——s—— SEWER LINE ——— LOT LINE LINE ---- EASEMENT PI—PI—PI—PRESSURE IRRIGATION LINE FOUND 1/2 INCH REBAR ----- GRADE BREAK FOUND 5/8 INCH REBAR SEWER MANHOLE FOUND BRASS CAP SEWER CLEANOUT FOUND ALUMINUM CAP GROUNDWATER OBSERVATION WEL CALCULATED POINT SAND AND GREASE TRAP PK NAIL **EXISTING IMPROVEMENT** STORM DRAIN MANHOLE ----s----s----s----s---sanitary sewer line WATER VALVE WATER LINE WATER METER FIRE HYDRANT OVERHEAD POWER LINE — w — w — single water service GRAVITY IRRIGATION LINE DRAINAGE ARROWS

⁻ 2713 ₋

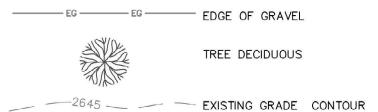
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CONCRETE

ASPHALT ROADWAY

√ | LANDSCAPING

SD SD SEEPAGE BED



SEWER MANHOLE

WATER VALVE

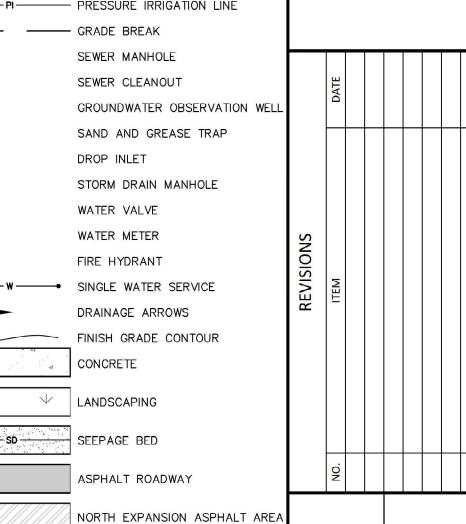
WATER METER

FIRE HYDRANT

POWER POLE

POWER BOX

EDGE OF PAVEMENT



Z

EN PARI L, ID ROVEMI SE SPRING: CALDWE

Z

5725 NORTH DISCOVERY WAY BOISE, IDAHO 83713 PHONE (208) 639-6939 kmengllp.com

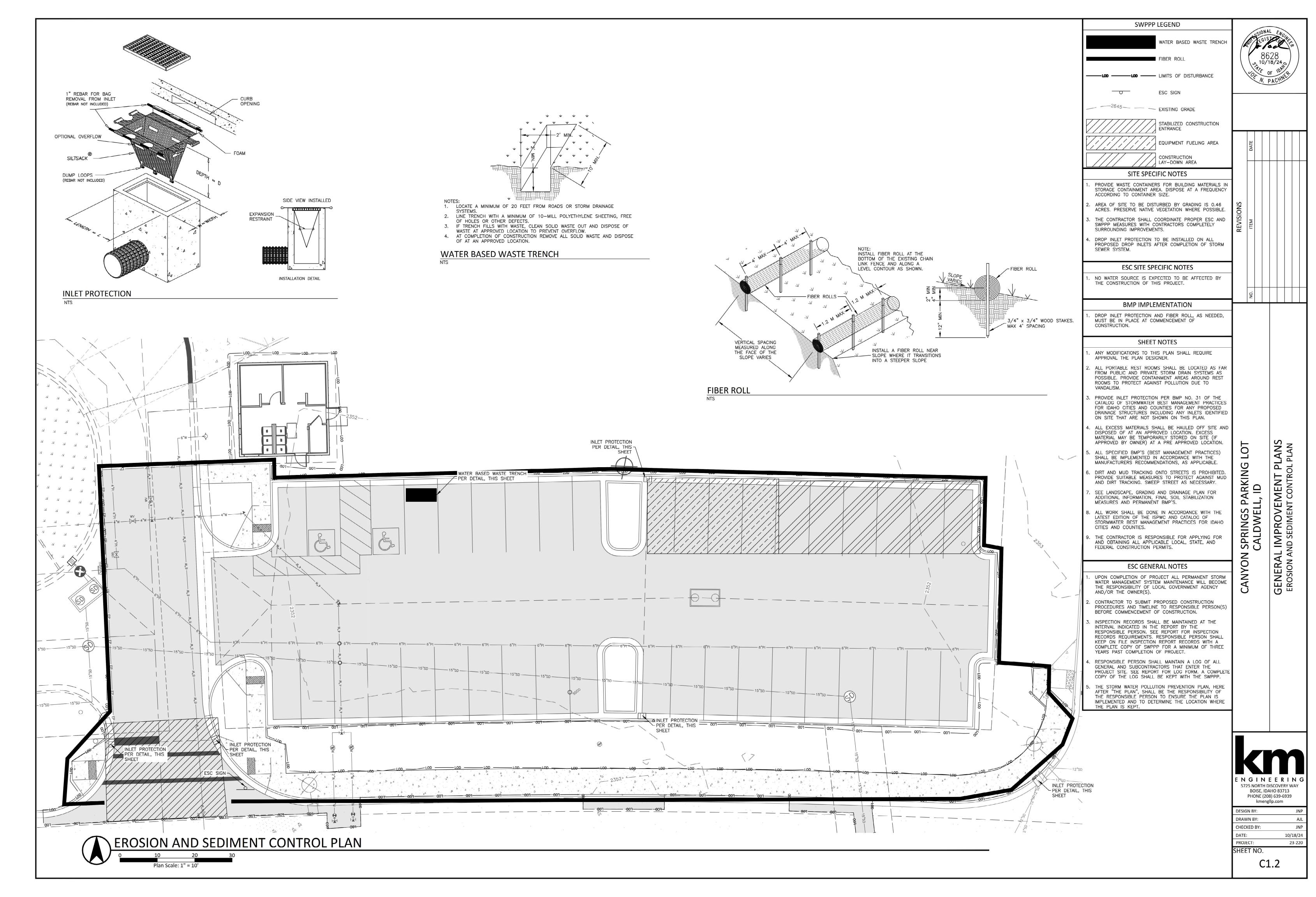
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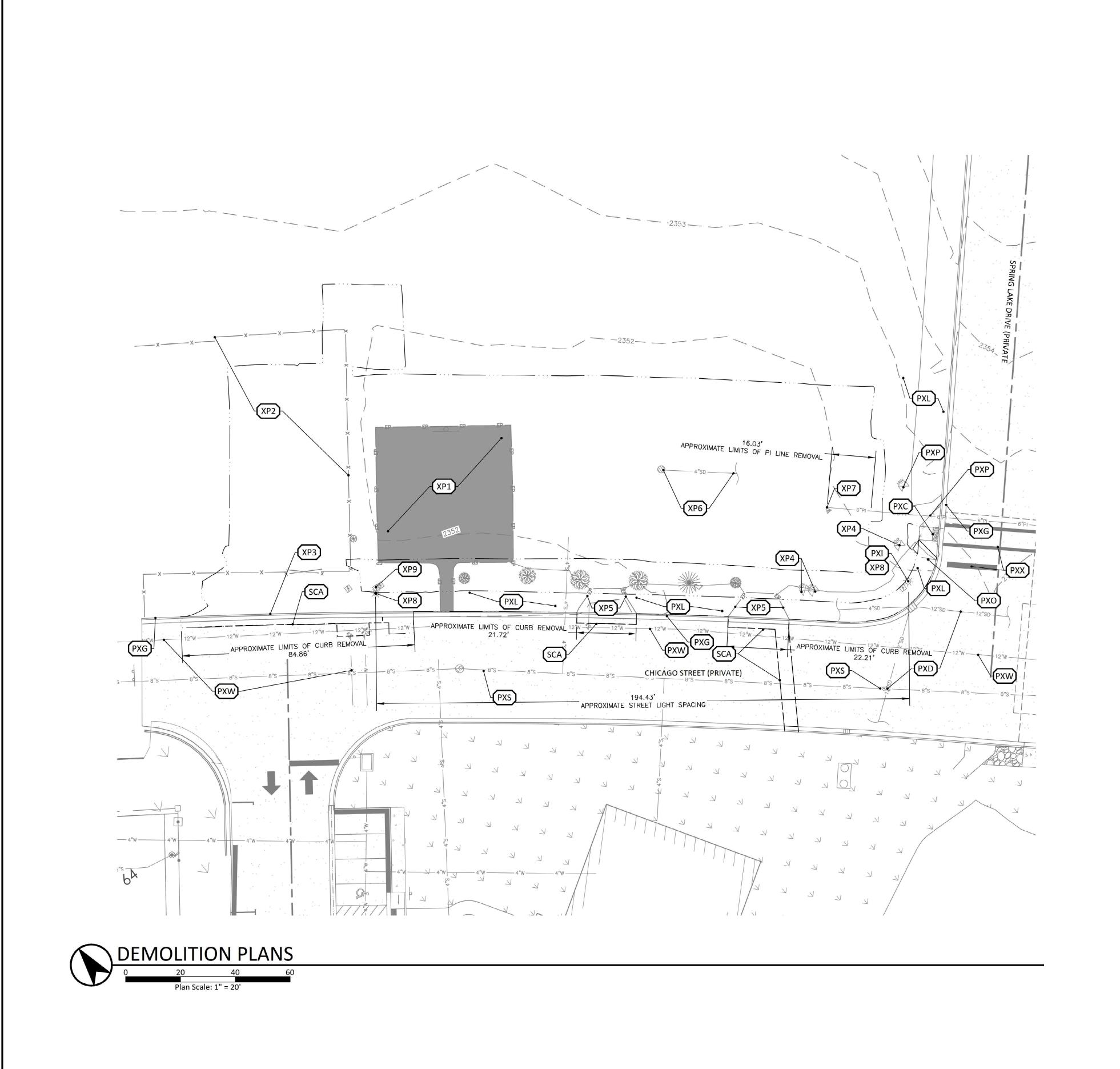
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10/18/24

23-220



P:\23-220\CAD\CONSTRUCTION PLANS\23-220 COVER.DWG, ANDREW LERUDE, 10/22/2024, CAN



LEGEND — — — — — — ASPHALT SAWCUT LINE LIMITS OF CONSTRUCTION

SHEET NOTES

- SEE SHEET C1.1 FOR GENERAL AND DEMOLITION NOTES. SEE SHEET C3.0 FOR GRADING IMPROVEMENT PLAN.
- SEE SHEET C4.0 FOR UTILITIES AND STORM DRAINAGE IMPROVEMENT PLANS.

KEYNOTES

- PXC RETAIN AND PROTECT EXISTING PEDESTRIAN RAMP
- PXD RETAIN AND PROTECT EXISTING STORMWATER IMPROVEMENTS.
- PXG RETAIN AND PROTECT EXISTING CURB AND GUTTER.
- CONTRACTOR TO VERIFY THAT THE EXISTING STREET
 LIGHTS MEET CITY OF CALDWELL STANDARD AUTOBAHN
 SERIES ATB2—60LEDE70MVOLT—R3—DDB—P7 STREET LIGHT STYLE LIGHT.
- PXL RETAIN AND PROTECT GRASS OUTSIDE OF PROPOSED GRADING LIMITS.
- PXO RETAIN AND PROTECT EXISTING STREET SIGNS AND STOP SIGN, CONTRACTOR TO RELOCATE AS NECESSARY.
- PXP RETAIN AND PROTECT PRESSURE IRRIGATION IMPROVEMENTS.
- PXS RETAIN AND PROTECT EXISTING SEWER IMPROVEMENTS.
- PXW RETAIN AND PROTECT EXISTING WATER IMPROVEMENTS. SEE WATER IMPROVEMENT PLANS FOR ADDITIONAL INFORMATION.
- PXX RETAIN AND PROTECT EXISTING STOP BAR AND PEDESTRIAN CROSSING.
- SCA SAWCUT (2' MINIMUM INTO EXISTING PAVEMENT) AND PAVEMENT PATCH PER ISPWC SD-301, SD-303, SD-806, AND ACCHD REQUIREMENTS. MATCH INTO EXISTING ASPHALT GRADE AND ELEVATION.
- XP1 EXISTING BASKETBALL COURT TO BE REMOVED.
- XP2 EXISTING FENCE TO BE REMOVED.
- XP3 EXISTING CURB AND GUTTER TO BE REMOVED.
- EXISTING PRESSURE IRRIGATION SERVICE OR BOX TO BE RELOCATED OUTSIDE THE LIMITS OF CONSTRUCTION.
- CONTRACTOR SHALL REMOVE EXISTING ASPHALT DRIVEWAY APPROACH AND SAWCUT OUT EXISTING CURB AND GUTTER AND INSTALL 6" VERTICAL CURB
- CONTRACTOR SHALL REMOVE EXISTING DRYWELL AND ASSOCIATED PIPING AND REPLACE WITH A 1,000—GALLON S&G TRAP AND SEEPAGE BED PER
- CONTRACTOR SHALL REMOVE ±16 LF OF PI PIPING WITHIN THE LIMITS OF THE PROPOSED SEEPAGE BED AND CONNECT NEW PI PIPING PER SHEET C4.X.
- CONTRACTOR SHALL WORK WITH IDAHO POWER TO RELOCATE EXISTING STREET LIGHT OUTSIDE OF THE PROPOSED SIDEWALK LOCATION.
- CONTRACTOR SHALL WORK WITH IDAHO POWER TO RELOCATE EXISTING ELECTRICAL INFRASTRUCTURE OUTSIDE OF PROPOSED SIDEWALK LOCATION WHERE NECESSARY.

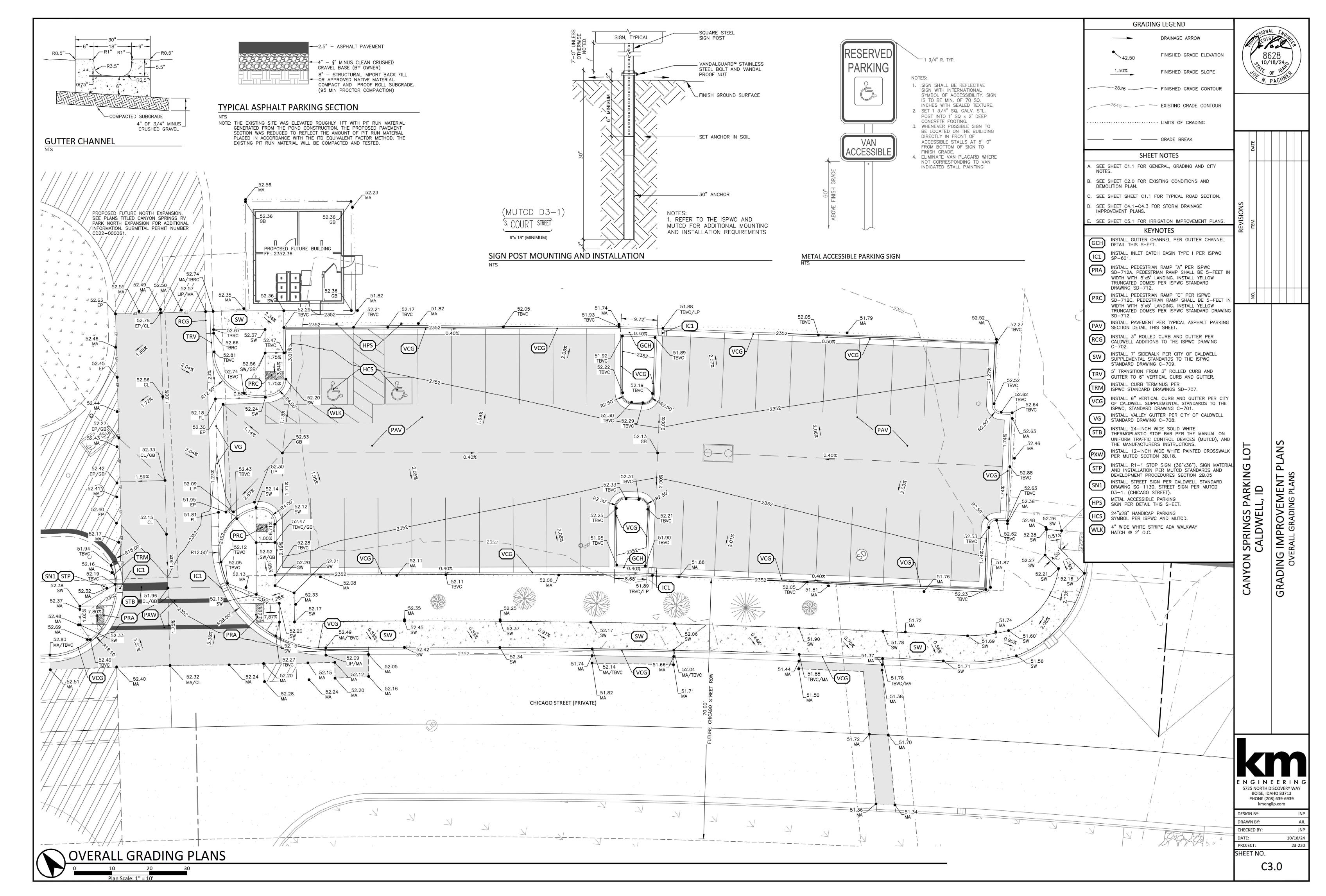
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CANYON SPRINGS PARKING CALDWELL, ID GENERAL IMPROVMENT P
DEMOLITION PLANS

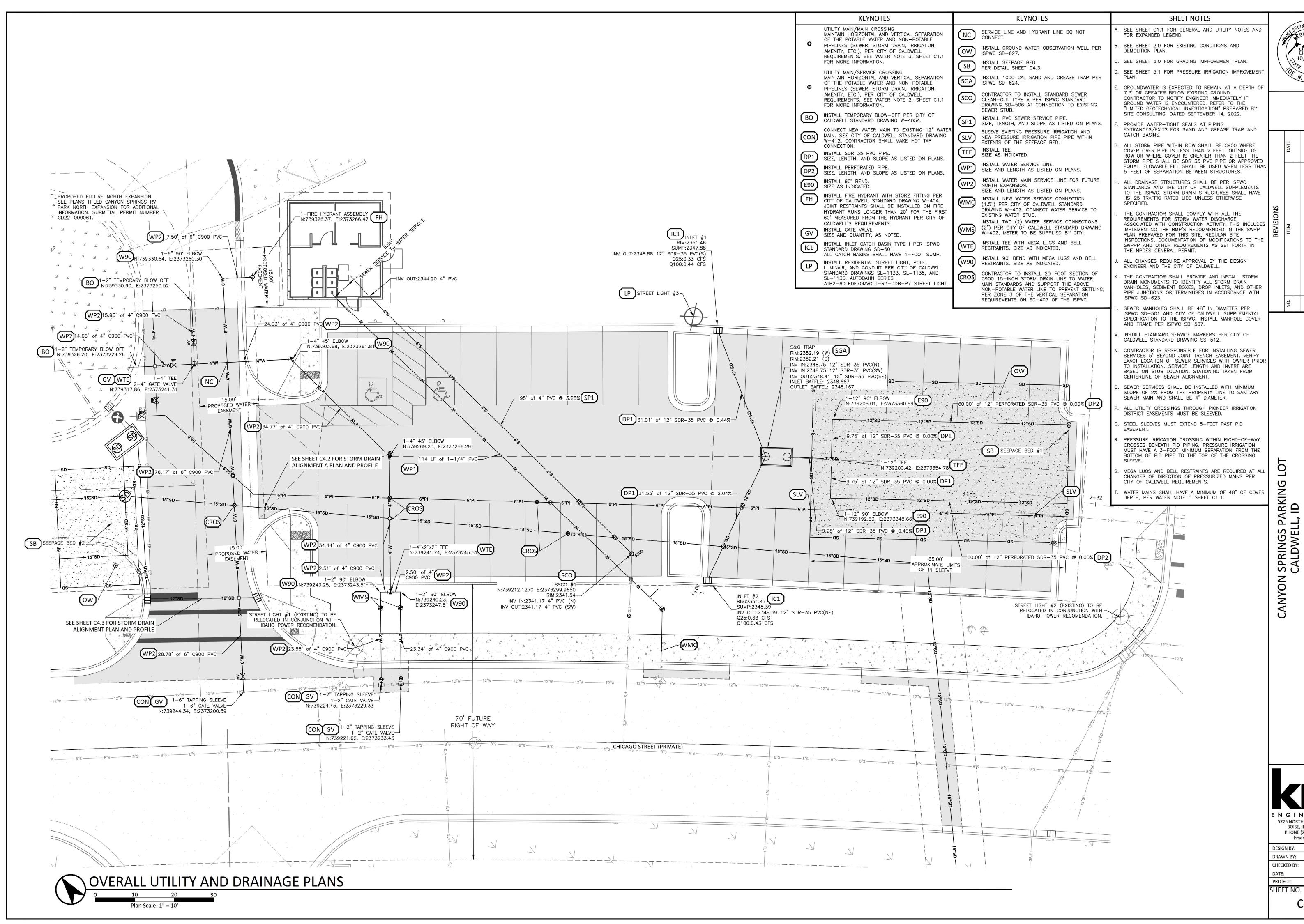
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DATE:	10/18/24
PROJECT:	23-220
SHEET NO.	

C2.0



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8628 10/18/24 N. PACHNER

CALDWELL, ID

UTILITY AND DRAINAGE IMPROVEMENT PLAN!

N G I N E E R I N
5725 NORTH DISCOVERY WAY
BOISE, IDAHO 83713
PHONE (208) 639-6939
kmengllp.com

DESIGN BY:

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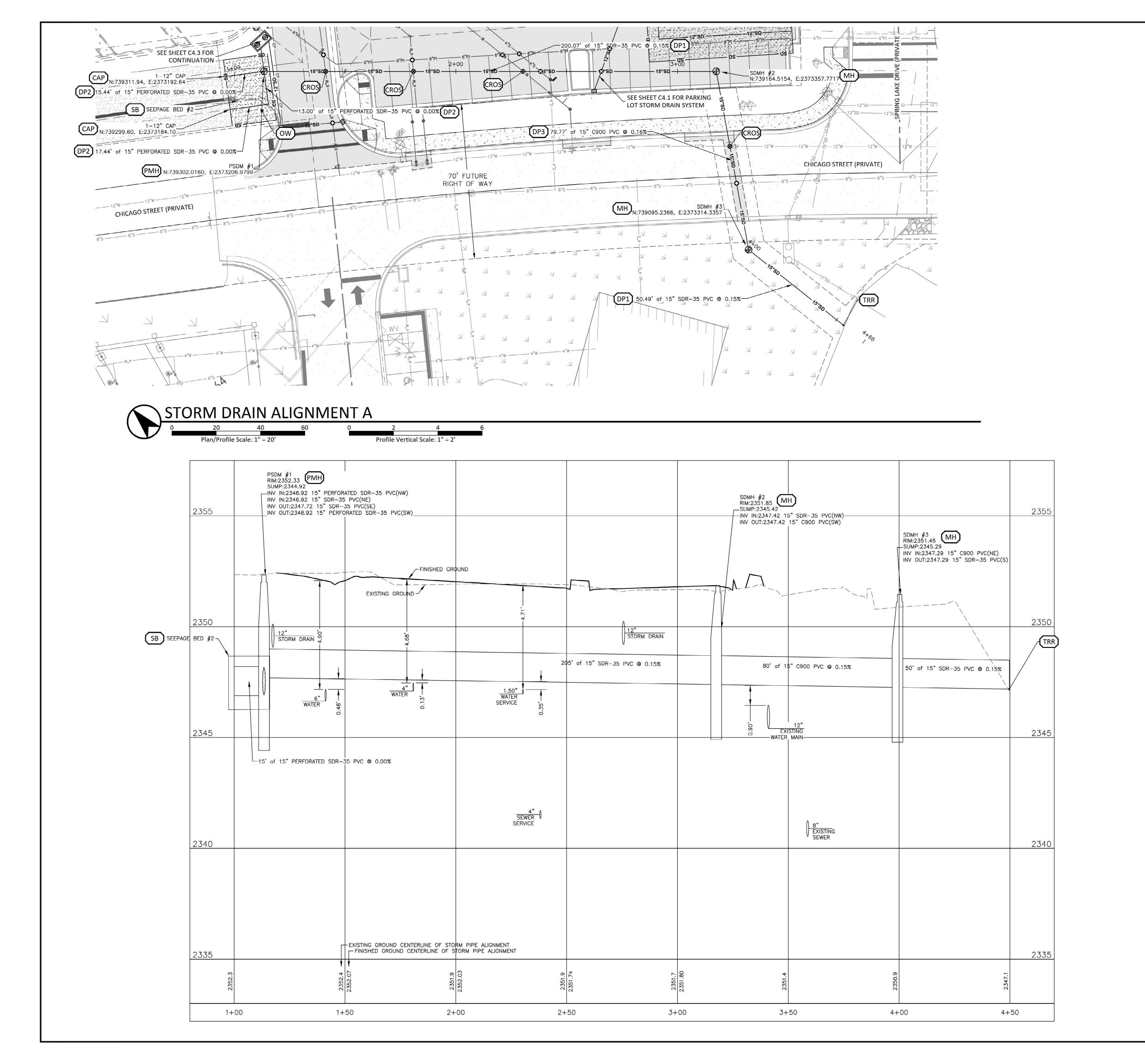
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PROJECT:

23-23

HEET NO.



SHEET NOTES

- SEE SHEET C1.1 FOR GENERAL AND STORM DRAINAGE NOTES AND FOR EXPANDED LEGEND.
- . SEE SHEET C2.0 FOR EXISTING CONDITIONS AND DEMOLITION PLAN.
- SEE SHEET C3.0 FOR GRADING AND ROADWAY
- IMPROVEMENT PLAN.
- SEE SHEET C4.3 FOR SEEPAGE BED DETAILS.
- SEE SHEET C5.1 FOR IRRIGATION IMPROVEMENT PLANS.
- STATIONING BASED ON STORM ALIGNMENT CENTERLINE. . STORM DRAIN MANHOLES SHALL BE SHALLOW MANHOLES PER ISPWC SD-609A. INSTALL MANHOLE COLLAR, COVER

AND FRAME PER ISPWC SD-616 AND SD-617.

KEYNOTES

- POTABLE WATER CROSSING NON-POTABLE WATER MAINTAIN HORIZONTAL AND VERTICAL SEPARATION OF THE POTABLE WATER AND NON-POTABLE PIPELINES (SEWER, STORM DRAIN, IRRIGATION, AMENITY, ETC.), SEE CITY OF CALDWELL WATER NOTE 2 AND 3, SHEET C1.1, FOR MORE INFORMATION.
- UTILITY MAIN/SERVICE CROSSING MAINTAIN HORIZONTAL AND VERTICAL SEPARATION O THE POTABLE WATER AND NON-POTABLE PIPELINES (SEWER, STORM DRAIN, IRRIGATION, AMENITY, ECT.), PER CITY OF CALDWELL REQURIEMENTS. SEE WATER NOTE 2, SHEET C1.1 FOR MORE INFORMATION.
- CAP INSTALL PVC CAP. SIZE AS NOTED.
- DP1 INSTALL SDR-35 PVC PIPE.
 SIZE, LENGTH, AND SLOPE AS LISTED ON PLANS
- DP2 INSTALL 12 PERFORATED PVC PIPE.
 SIZE, LENGTH, AND SLOPE AS LISTED ON PLANS
- DP3 INSTALL C-900 PVC SIZE, LENGTH, AND SLOPE AS LISTED ON PLANS.
- MH INSTALL MANHOLE PER CITY OF CALDWELL D-611.
 RIM AND INVERTS AS NOTED. ALL STORM DRAIN
 MANHOLES SHALL HAVE A 2-FOOT SUMP.
- NON-WOVEN GEOTEXTILE FABRIC. RIM AND INVERTS AS NOTED. ALL STORM DRAIN MANHOLES SHALL HAVE A 2-FOOT SUMP. PERFORATIONS TO BE 1" DIAMETER HOLES, 6" ON CNETER. PERFORATIONS TO EXTEND FROM TOP TO BOTTOM OF SEEPAGE BED.

INSTALL PERFORATED MANHOLE WRAPPED IN

- TRR INSTALL RIP RAP AND TRASH RACK ON OUTFLOW PIPE TO POND.
- SB INSTALL SEEPAGE BED PER DETAIL SHEET C4.3.
- OW INSTALL GROUND WATER OBSERVATION WELL PER ISPWC SD-627.
- CROS CONTRACTOR TO INSTALL 20-FOOT SECTION OF C900 15-INCH STORM DRAIN LINE TO WATER MAIN STANDARDS AND SUPPORT THE ABOVE NON-POTABLE WATER LINE TO PREVENT SETTLING, PER ZONE 3 OF THE VERTICAL SEPARATION REQUIREMENTS ON SD-407 OF THE ISPWC.

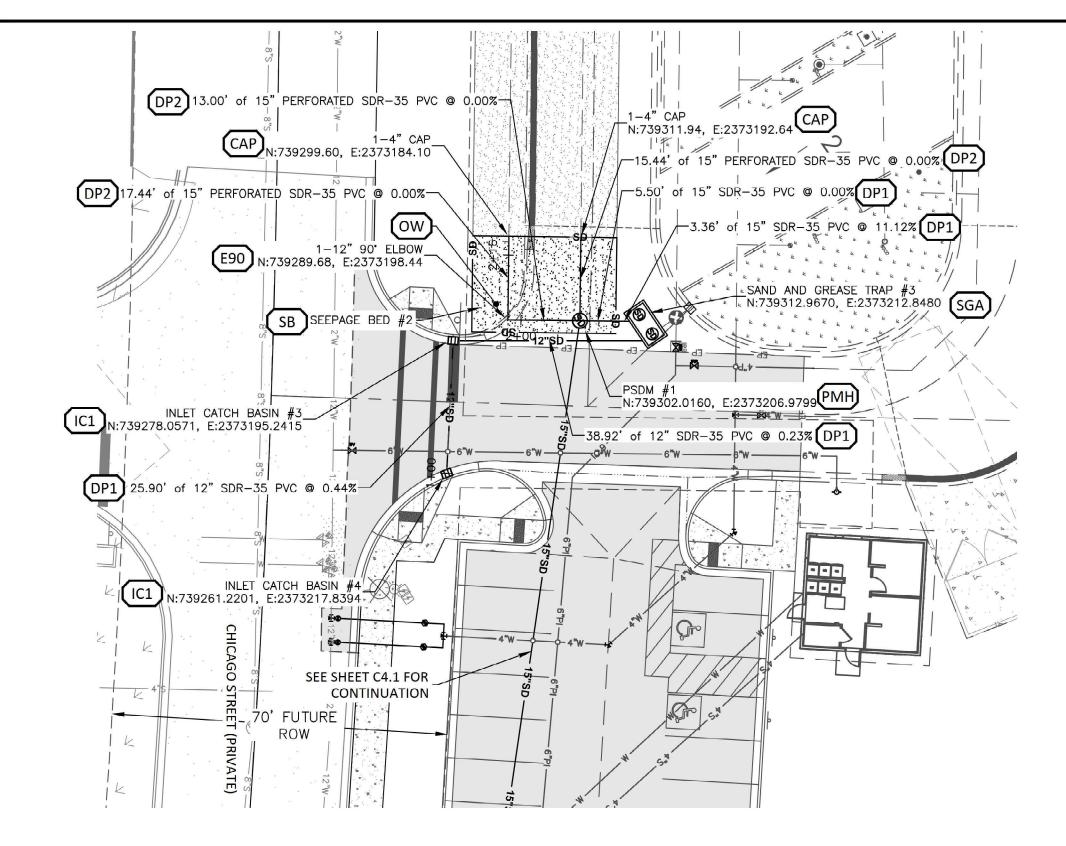
CANYON SPRINGS PARKING CALDWELL, ID UTILITY AND DRAINAGE IMPROVE

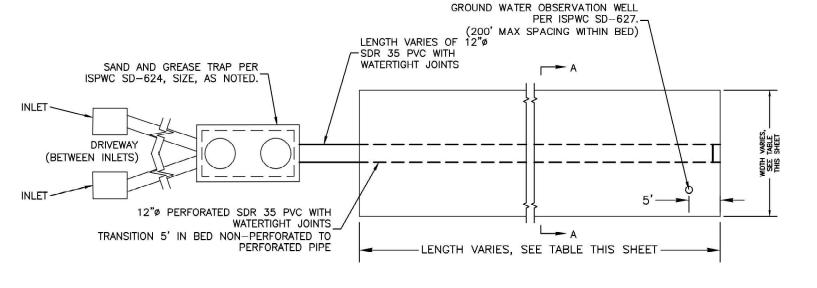
PLANS

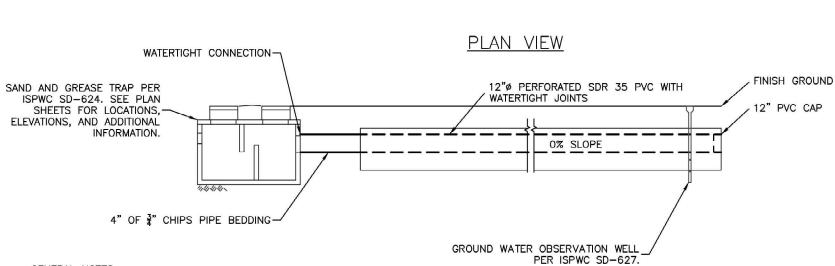
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CHECKED BY: DATE: 10/18/24 23-220 PROJECT: SHEET NO.







PROFILE VIEW

GENERAL NOTES

A. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF GROUND WATER IS ENCOUNTERED. REFER TO THE "LIMITED GEOTECHNICAL INVESTIGATION RYAN'S CROSSING" PREPARED BY ALTAS TECHNICAL CONSULTANTS. DATED SEPTEMBER 14, 2022.

GREATER LOAD RATED.

C. ALL GEOTEXTILE SEAMS SHALL OVERLAP 1 FOOT MINIMUM.

D. BED WIDTH SHALL REMAIN CONSTANT.

E. STORAGE VOLUME DOESN'T INCLUDE SAND FILTER.

F. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO CONSTRUCTION AND VERIFY INFILTRATION RATE AFTER THE FACILITY IS FULLY EXCAVATED.

B. ALL MANHOLES AND SAND AND GREASE TRAPS SHALL BE HS25 OR

SECTION VIEW A-A

KEY

1. SAND FILTER— 12 INCH MIN. LAYER OF FINE AGGREGATE MATERIAL MEETING GRADATION REQUIREMENTS OF ITD STANDARD SPECIFICATION 703.2 "FINE AGGREGATE FOR CONCRETE". LAYER SHALL BE INCREASED TO 24 INCHES WHEN BOTTOM OF BED IS LOCATED WITHIN 3' OF HIGH GROUNDWATER. TOP OF SAND SHALL BE LOCATED A MINIMUM OF 12 INCHES ABOVE HIGH GROUND WATER ELEVATION.

2. MINIMUM OF 1.5' COVER FROM TOP OF BED TO FINISH GRADE.

BACKFILL WITH NATIVE TOPSOIL.

3. 1½" TO 2" WASHED DRAIN ROCK.

4. 12"Ø PERFORATED PIPE.

 EXTEND 2' (MIN.) INTO FREE DRAINING MATERIAL.
 NON-WOVEN FABRIC (4 OZ/SQUARE YARD) PER CITY OF CALDWELL STORMWATER DESIGN GUIDELINES SECTION 104. OVERLAP MINIMUM OF 1-FT TOP AND SIDES ONLY.

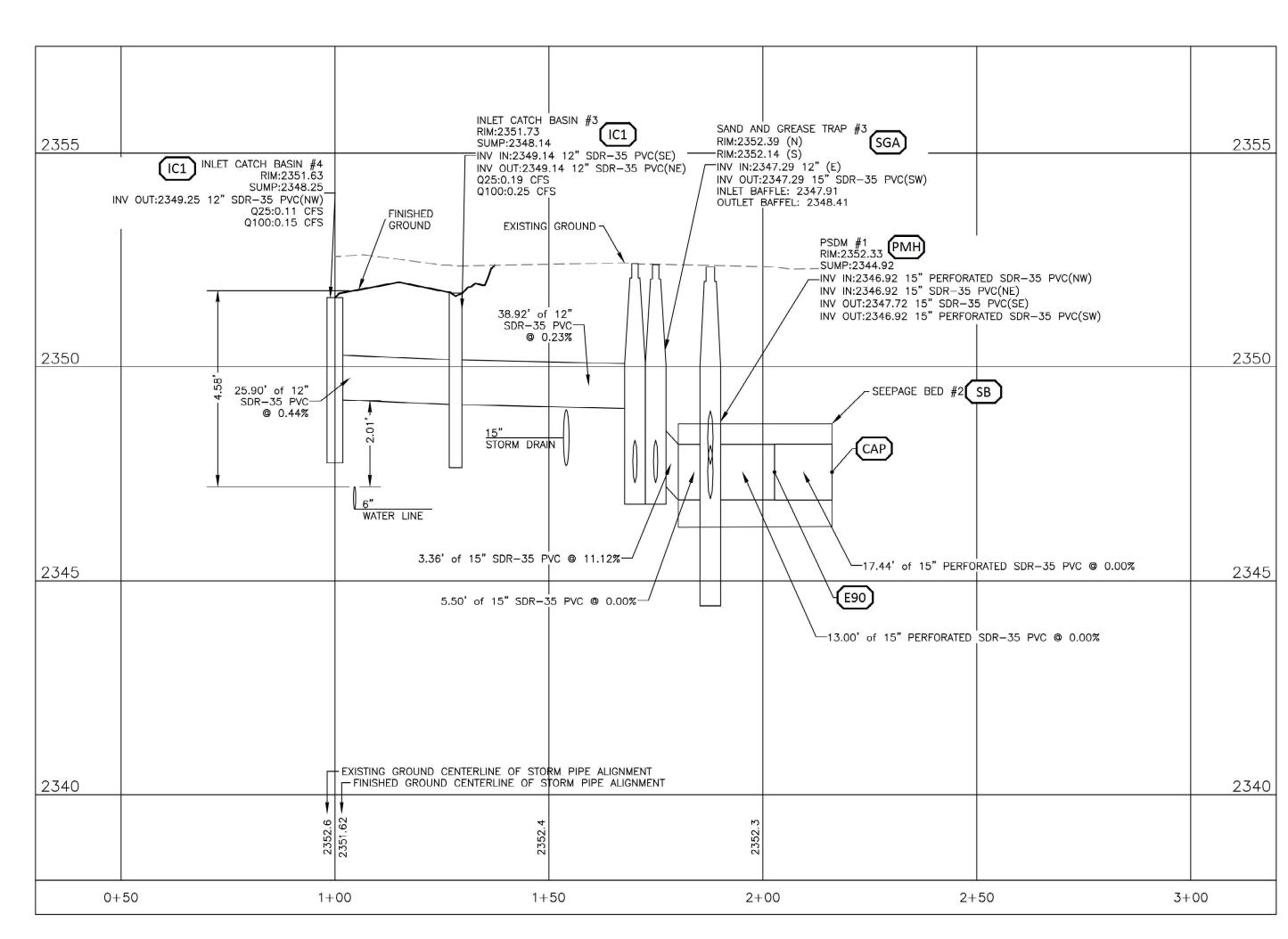
	SEEPAGE BED TABLE									
SEEPAGE BED	BED LENGTH (FT)	BED WIDTH (FT)	AVG. BED DEPTH (FT)	ELEVATION "A"	ELEVATION "B"	ELEVATION "C"	ELEVATION "D"	GROUND WATER EL.	100-YR VOLUME PROVIDED (CF)	DESIGN INFILTRATION RATE (IN/HR)
SB #1	65	40	2.5	2351.82	2349.47	2348.37	2346.97	2345.69	1,673	0.50
SB #2	20	30	2.4	2352.34	2348.67	2346.92	2346.27	2345.19	475	0.50

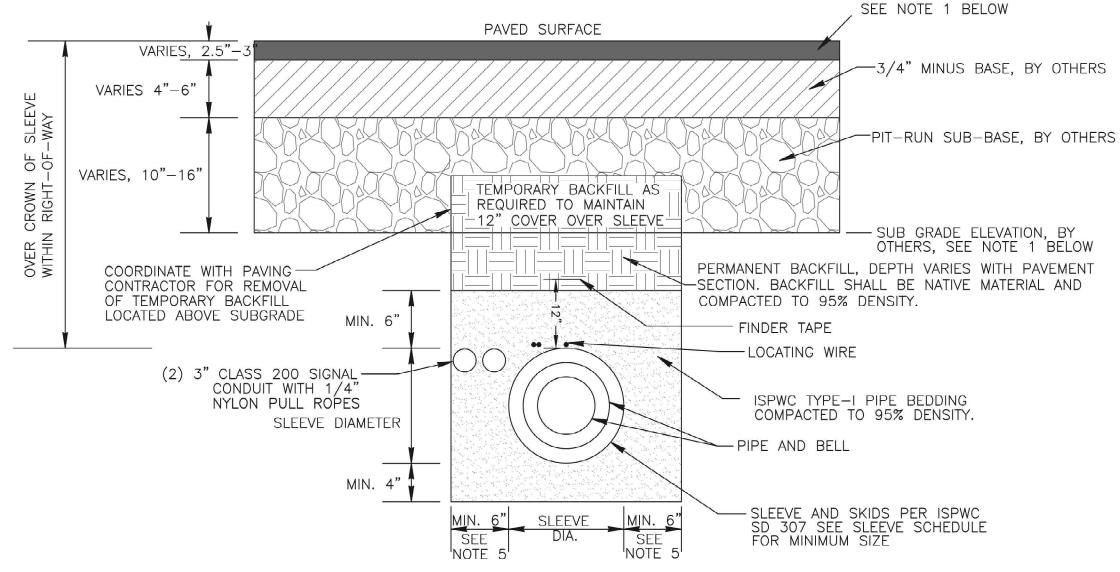
STORM DRAIN ALIGNMENT B

O 20 40 60 0 2 4 6

Plan/Profile Scale: 1" = 20' Profile Vertical Scale: 1" = 2'

SEEPAGE BEDS





TYPICAL SLEEVED ROAD CROSSING

	SLEEVE	SCHEDULE (INCHES)	
PIPE DIA.	PIPE BELL O.D.	SLEEVE MIN. DIA.	SLEEVE I.D.
1"	EST. 1.4"	3" PVC CLASS 200	3.1"
3"	4.4"	8" PVC CLASS 200	7.7"
4"	6.0"	10" PVC CLASS 200	9.6"
6"	8.5"	12" PVC CLASS 200	11.4"
8"	11.0"	15" ADS N-12	15.0"
10"	13.5"	18" ADS N-12	18.1"
15"	EST. 19.0"	24" ALUMINIZED CMP	EST. 24.1"
18"	EST. 22.3"	30" ALUMINIZED CMP	EST. 30.2"

NOTES:

NTS

A. SLEEVE SCHEDULE BASED ON 1 INCH MINIMUM CLEAR DISTANCE AROUND PIPE BELL.
 B. CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING ACTUAL DIMENSIONS OF ALL PROPOSED MATERIALS AND SLEEVE SIZES REQUIRED FOR FIELD FIT.

NOTEC:

- 1. COORDINATE WITH PAVING CONTRACTOR TO INSTALL SLEEVE, SIGNAL CONDUIT, FINDER TAPE AND LOCATING WIRE PRIOR TO INSTALLATION OF ROAD SUB-BASE, ROAD BASE AND PAVEMENT.
- 2. SLEEVED ROAD CROSSING INSTALLATION REQUIREMENTS APPLY WITHIN THE FULL EXTENT OF RIGHT-OF-WAY PLUS SUFFICIENT SLEEVE LENGTH TO CLEAR SIDEWALK
- 3. SLEEVED ROAD CROSSINGS SHALL COMPLY WITH ISPWC SD-307 EXCEPT THAT SLEEVE SHALL BE CLASS 200 PVC PIPE, ADS N-12 OR ALUMINIZED CMP PIPE AS SPECIFIED IN SLEEVE SCHEDULE.
- 4. IN CASE OF CONFLICTS WITH OTHER UTILITIES, IRRIGATION SLEEVE SHALL CROSS BELOW OTHER UTILITIES.
- 5. INCREASE STATED DISTANCE AS REQUIRED TO MEET COMPACTION.
- 6. THE CONTRACTOR SHALL CONSTRUCT ALL ROAD CROSSINGS OF THE IRRIGATION
- THE CONTRACTOR SHALL CONSTRUCT ALL ROAD CROSSINGS OF THE IRRIGATION PIPE AND POTABLE WATER PIPE IN ACCORDANCE WITH THE IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND I.S.P.W.C. SD-407.

SHEET NOTES

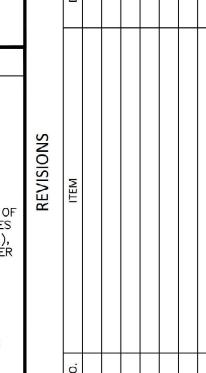
- SEE SHEET C1.1 FOR GENERAL AND STORM DRAINAGE NOTES AND FOR EXPANDED LEGEND.
- SEE SHEET C1.4 FOR ADDITIONAL DETAILS AND
- IFORMATION.
- . SEE SHEET C2.0 FOR EXISTING CONDITIONS AND
- DEMOLITION PLAN.
- . SEE SHEET C3.0 FOR GRADING AND ROADWAY IMPROVEMENT PLAN.
- SEE THIS SHEET FOR SEEPAGE BED DETAILS.
- F. SEE SHEET C5.1 FOR IRRIGATION IMPROVEMENT PLANS.
- STATIONING BASED ON STORM ALIGNMENT CENTERLINE.
- H. ALL STORM DRAIN MANHOLES LESS THAN 48-INCHES DEEP SHALL BE SHALLOW MANHOLES PER ISPWC SD-609A. ALL STORM DRAIN MANHOLES GREATER THAN 48-INCHES DEEP SHALL BE STANDARD MANHOLES PER SD-612. INSTALL MANHOLE COLLAR, COVER AND FRAME PER ISPWC SD-616 AND SD-617.

KEYNOTES

- POTABLE WATER CROSSING NON-POTABLE WATER MAINTAIN HORIZONTAL AND VERTICAL SEPARATION OF THE POTABLE WATER AND NON-POTABLE PIPELINES (SEWER, STORM DRAIN, IRRIGATION, AMENITY, ETC.), SEE CITY OF CALDWELL WATER NOTE 2 AND 3, SHEET C1.1, FOR MORE INFORMATION.
- UTILITY MAIN/SERVICE CROSSING
 MAINTAIN HORIZONTAL AND VERTICAL SEPARATION OF
 THE POTABLE WATER AND NON-POTABLE PIPELINES
 (SEWER, STORM DRAIN, IRRIGATION, AMENITY, ECT.),
 PER CITY OF CALDWELL REQURIEMENTS. SEE WATER
 NOTE 2, SHEET C1.1 FOR MORE INFORMATION.
- CAP INSTALL PVC CAP SIZE AS NOTED.
- DP1 INSTALL SDR-35 PVC PIPE.
 SIZE, LENGTH, AND SLOPE AS LISTED ON PLANS
- DP2 INSTALL 12 PERFORATED PVC PIPE.
 SIZE, LENGTH, AND SLOPE AS LISTED ON PLANS
- E90 INSTALL 90° BEND. SIZE AS INDICATED.
- INSTALL INLET CATCH BASIN TYPE I PER ISPWC STANDARD DRAWING SD-601.
 ALL CATCH BASINS SHALL HAVE 1-FOOT SUMP.
 INSTALL PERFORATED MANHOLE WRAPPED IN NON-WOVEN GEOTEXTILE FABRIC. RIM AND
- SHALL HAVE A 2-FOOT SUMP. PERFORATIONS TO BE 1" DIAMETER HOLES, 6" ON CNETER. PERFORATIONS TO EXTEND FROM TOP TO BOTTOM OF SEEPAGE BED.

INVERTS AS NOTED. ALL STORM DRAIN MANHOLES

- SB INSTALL SEEPAGE BED PER DETAIL THIS SHEET.
- SGA INSTALL 1000 GAL SAND AND GREASE TRAP PER ISPWC SD-624.
- OW INSTALL GROUND WATER OBSERVATION WELL PER ISPWC SD-627.



CALDWELL, ID

UTILITY AND DRAINAGE IMPROVEMENT PLANS
STORM DRAIN ALIGNMENT B

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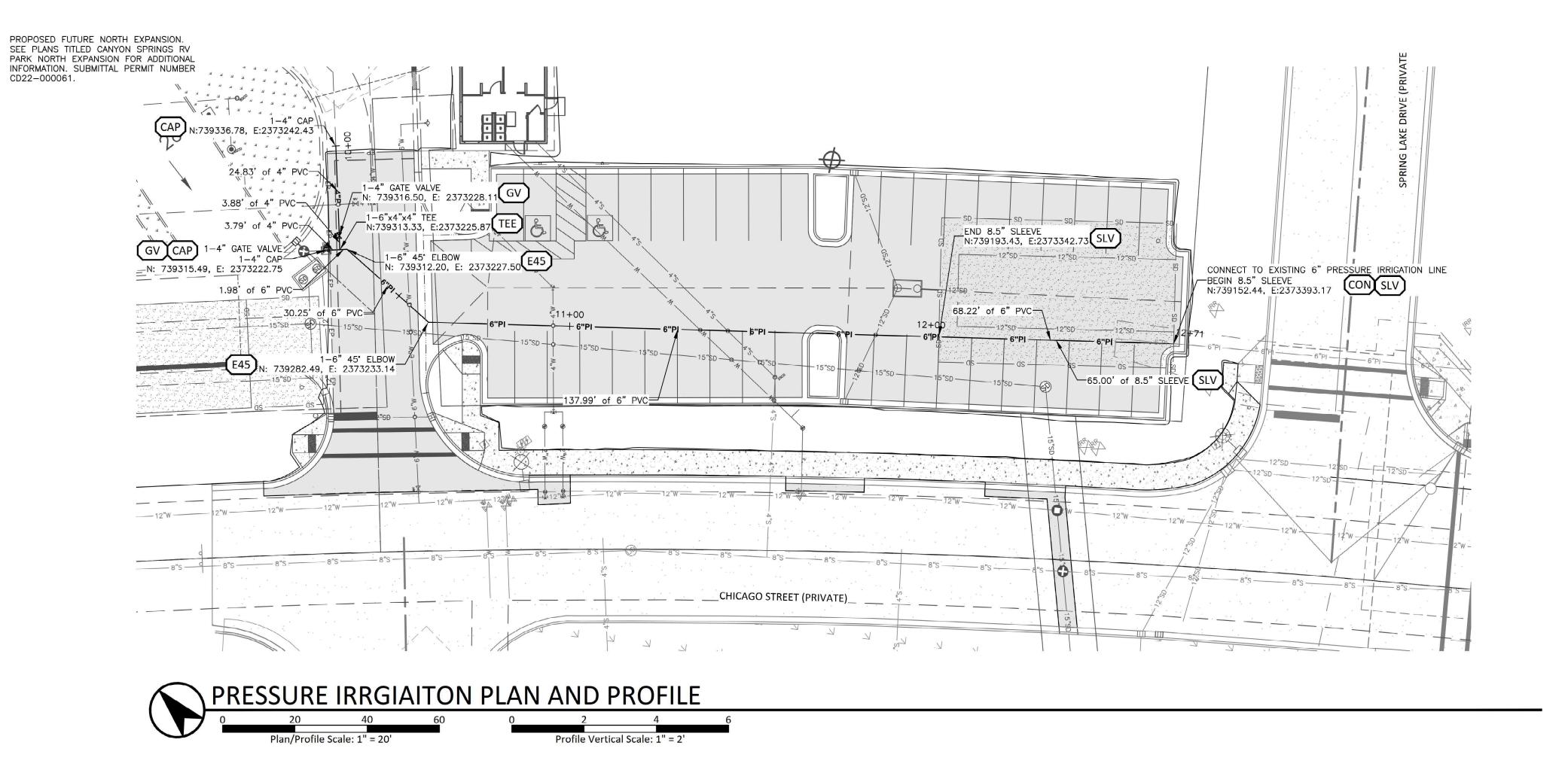
DRAWN BY: AJL

CHECKED BY: JNP

DATE: 10/18/24

PROJECT: 23-220

SHEET NO.



2350 (CAP) 1.08' of 6' PVC 1.08' of 6' PVC 1.08' of 6' PVC 1.77.98' of 6' PVC 1.77.98' of 6' PVC 1.77.98' of 6' PVC STGRM DRAN SEPACE BED 1, SEE SHEET CH.3 'FOR EZYAL'S 2345	2355							2355
2345	2350		3.88' of 4" PVC	30.25' of 6" PVC	EXISTI	STORM DRAIN	68.22' of 6" PVC	2350
	2345							2345
2340 EXISTING GROUND CENTERLINE OF STORM PIPE ALIGNMENT FINISHED GROUND CENTERLINE OF STORM PIPE ALIGNMENT 9. 25.25.2	2340	2352.5	2352 4	V V	ORM PIPE ALIGNMENT STORM PIPE ALIGNMENT	2352.00	2351.97	2340
9+50 10+00 10+50 11+00 12+00 12+50 13+00								

CD22-000061.

SHEET NOTES

- SEE SHEET C1.1 GENERAL, IRRIGATION, AND CITY OF CALDWELL NOTES; AND FOR EXPANDED LEGEND.
- . SEE SHEET C2.0 FOR EXISTING CONDITIONS AND DEMOLITION PLAN.
- SEE SHEET C3.0 FOR GRADING IMPROVEMENT PLAN.
- . SEE SHEET C4.1—C4.3 FOR STORM DRAINAGE AND GENERAL UTILITY IMPROVEMENT PLANS.
- IRRIGATION SERVICES SHALL BE 1" CLASS SDR-7 POLYETHYLENE PIPE PER DETAIL, PER CALDWELL IRRIGATION MUNICIPAL DISTRICT SD-902A, TYPICAL. SHEET
- ALL FITTINGS AND VALVES SHALL BE THE SAME SIZE AS THE LARGEST DIAMETER PIPE COMING INTO THE FITTING OR VALVE.
- NO THRUST BLOCKS, CONTRACTOR SHALL LOCK ALL FITTINGS WITH MEGA LUGS AND BELL RESTRAINTS WHEN/WHERE NEEDED.
- . PRESSURE IRRIGATION PIPE TO BE CLASS 200, SDR-21 PVC OR APPROVED EQUAL.
- PRESSURE IRRIGATION MUST BE CONSTRUCTED TO WATER MAIN STANDARDS FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE POTABLE WATER MAIN CROSSING PER ISPWC STANDARD DRAWING SD-407.

KEYNOTES (#)

- UTILITY MAIN/MAIN CROSSING MAINTAIN HORIZONTAL AND VERTICAL SEPARATION OF THE POTABLE WATER AND NON-POTABLE PIPELINES (SEWER, STORM DRAIN, IRRIGATION, AMENITY, ETC.), PER CITY OF CALDWELL REQUIREMENTS. SEE WATER NOTE 2, SHEET C1.1 FOR MORE INFORMATION.
- UTILITY MAIN/SERVICE CROSSING MAINTAIN HORIZONTAL AND VERTICAL SEPARATION OF THE POTABLE WATER AND NON-POTABLE PIPELINES (SEWER, STORM DRAIN, IRRIGATION, AMENITY, ETC.), PER CITY OF CALDWELL REQUIREMENTS. SEE WATER NOTE 3, SHEET C1.1 FOR MORE INFORMATION.
- CAP INSTALL PVC CAP. SIZE AS INDICATED.
- CON CONNECT TO 4" PVC MAIN CROSSING CHICAGO STREET FROM EXPANSION TO THE SOUTH.
- E45 INSTALL 45° BEND. SIZE AS INDICATED.
- GV INSTALL GATE VALVE SIZE AS INDICATED.
- SLV INSTALL SLEEVE PER TYPICAL SLEEVED ROAD CROSSING SEE DETAIL SHEET C4.3.
- TEE INSTALL TEE. SIZE AS INDICATED.

PLANS ENT CANYON SPRINGS PARKING CALDWELL, ID PRESSURE IRRIGATION IMPROVEN PRESSURE IRRGIAITON PLAN AND P

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LANDSCAPE PLAN O 20 40 6 Plan Scale: 1" = 20'

CONTACT INFORMATION

LANDSCAPE CONSULTANT

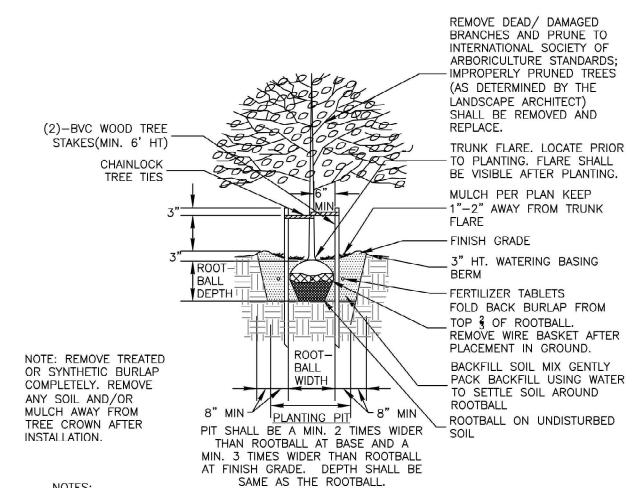
KM ENGINEERING, LLP

5725 NORTH DISCOVERY WAY

5725 NORTH DISCOVERY WAY
BOISE, IDAHO 83713
PHONE: (208) 639-6939
FAX: (208) 639-6930
CONTACT: ALYSSA YENSEN, PLA
EMAIL: ayensen@kmengllp.com

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	MATURE HXW	CLASS
DECIDUOL	JS TREES	6				
	GS2	4	GLEDITSIA TRIACANTHOS 'SKYLINE' SKYLINE HONEYLOCUST	2" CAL. B&B	35'X30'	CLASS II
+	LS	2	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE' COLUMNAR SWEET GUM	2" CAL. B&B	25'X15'	CLASS II
EXISTING	TREES					•
\	SP4	1	EXISTING TREE TO BE RELOCATED SEE KEY NOTES	EXISTING	VARIES	VARIES
$\overline{(\cdot)}$	SP	21	EXISTING TREES TO REMAIN PRESERVE AND PROTECT SEE TREE PROTECTION NOTES AND KEY NOTES	EXISTING	VARIES	
+	SP5	1	RELOCATED EXISTING TREE SEE KEY NOTES	EXISTING	VARIES	VARIES
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	MATURE HXW	
SHRUBS						
(·)	RG	4	RHUS AROMATICA 'GRO-LOW' GRO-LOW FRAGRANT SUMAC	2 GAL.	3'X6'	
GRASSES		•				
\odot	РА	12	PENNISETUM ALOPECUROIDES 'LEMON SQUEEZE' LEMON SQUEEZE FOUNTAIN GRASS	1 GAL.	3'X2'	
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT		
GROUND (COVERS					
	E2	1,720 SF	EXISITNG LANDSCAPE TO REMAIN PRESERVE AND PROTECT SEE KEY NOTES	FLAT		

PARKING ISLAND TREE REQUIREMENT	REQ.	PRVD.
1TREE/ ISLAND)	6	6



1. THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR A MINIMUM OF 1 YEAR. ALL STAKING SHALL BE REMOVED AT THE END OF THE ONE YEAR WARRANTY PERIOD.

DECIDUOUS TREE PLANTING AND STAKING DETAIL

NTS

GENERAL LANDSCAPE NOTES

- 1. VERIFICATION OF TOTAL LANDSCAPE MATERIAL QUANTITIES AS SHOWN ON THIS LANDSCAPE PLAN AND IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. IF QUANTITIES LISTED DO NOT CORRELATE WITH WHAT IS SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL GOVERN. THIS INCLUDES, BUT IS NOT LIMITED TO TREE, SHRUB, ROCK, TOPSOIL, MULCH, SEED OR SOD, EDGING, AND DRIP LINE QUANTITIES.
- 2. IMMEDIATELY AFTER AWARD OF CONTRACT, NOTIFY THE LANDSCAPE ARCHITECT OF AVAILABLY OF SPECIFIED PLANT MATERIAL FROM COMMERCIAL NURSERIES. IF A SPECIFIED PLANT IS NOT AVAILABLE, THE LANDSCAPE ARCHITECT WILL PROVIDE ALTERNATE PLANT MATERIAL SELECTIONS. SUCH CHANGES SHALL NOT ALTER THE ORIGINAL BID PRICE UNLESS A CREDIT IS DUE TO THE OWNER.
- 3. CONTRACTOR SHALL LOCATE AND IDENTIFY EXISTING UNDERGROUND AND OVERHEAD UTILITIES WITHIN CONTRACT WORK AREAS PRIOR TO CONSTRUCTION. CONTACT DIG LINE, INC. @ 1.800.342.1885. PROVIDE ADEQUATE MEANS OF PROTECTION OF UTILITIES AND SERVICES DESIGNATED TO REMAIN. REPAIR UTILITIES DAMAGED DURING SITE WORK OPERATIONS AT CONTRACTOR'S EXPENSE.
- 4. PROVIDE REQUIRED SOIL EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE CONTRACT PERIOD. SHOULD THERE BE EXISTING SOIL EROSION CONDITIONS THAT REQUIRE MITIGATION, NOTIFY THE RESPONSIBLE PERSON IMMEDIATELY. FAILURE TO NOTIFY THE RESPONSIBLE PERSON IMPLIES ACCEPTANCE OF THE SITE IN ITS EXISTING CONDITION.
- 5. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING ALL PLANTED AREAS. ALL DELETERIOUS MATERIAL SUCH AS ROCK, TRASH, CONSTRUCTION DEBRIS, AGGREGATE BASE MATERIAL, ASPHALT, ETC.., SHALL BE REMOVED PRIOR TO ANY FILL OPERATIONS. FINISH GRADES TO BE SMOOTH AND EVEN. GRADIENTS TO REMOVE LOW AND HIGH POINTS AND TO PROVIDE POSITIVE DRAINAGE.
- 6. FILL ALL PLANTING AREAS WITH CLEAN EARTHEN FILL, AS PER SPECIFICATIONS. SOIL SHALL BE FREE OF HEAVY, STIFF CLAY AND ANY DELETERIOUS MATERIAL OVER ONE INCH IN SIZE. REUSE EXISTING SURFACE TOPSOIL IF AVAILABLE.
- 7. TOPSOIL SHALL BE A LOOSE, FRIABLE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOXIOUS WEEDS, WEED SEEDS, ROCKS, GRASS, OR OTHER FOREIGN MATERIALS AND A PH OF 5.5 TO 7.0. IF ON—SITE TOPSOIL DOES NOT MEET THESE MINIMUM STANDARDS, CONTRACTORS ARE RESPONSIBLE TO EITHER: PROVIDE APPROVED IMPORTED TOPSOIL OR, AMEND THE ON—SITE TOPSOIL.
- 8. TOPSOIL DEPTHS SHALL BE AS FOLLOWS (WHERE APPLICABLE): LAWN AREAS—6" MIN.; PLANTER BEDS 12" MIN.; CURB ISLANDS 18" MIN.ALL PLANTING BEDS SHALL BE TREATED WITH A PRE—EMERGENT HERBICIDE.
- 9. FINISH GRADES FOR LANDSCAPE AREAS TO BE SMOOTH AND EVEN GRADIENTS WITH POSITIVE DRAINAGE IN ACCORDANCE WITH SITE GRADING PLAN, SLOPES FOR TURF AREAS SHALL NOT EXCEED 3:1.
- 10. PRE-EMERGENT HERBICIDE SHALL BE APPLIED PER MANUFACTURER'S RECOMMENDATIONS AND SHALL OCCUR AFTER TOPSOIL PLACEMENT AND PRIOR TO INSTALLATION OF PLANT MATERIALS AND MULCH.
- 11. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN HEALTHY GROWING CONDITION.
- 12. ALL WRAPPING MATERIAL SHALL BE CUT AND REMOVED FROM AROUND THE UPPER PORTION OF THE ROOT BALL. METAL BASKET WIRES AND BURLAP SHALL BE PULLED BACK AND TUCKED UNDER THE EDGES OF THE SAUCER RINGS ON ALL TREES AND LARGE SHRUBS. ALL SYNTHETIC BURLAP SHALL BE REMOVED FROM ROOT BALLS PRIOR TO BACKFILLING.
- 13. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY OWNER. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN HEALTHY CONDITION IMMEDIATELY WITH COMPARABLE SIZE AND SPECIES AT NO COST TO THE OWNER.
- 14. FERTILIZE ALL TREES AND SHRUBS WITH AGRIFORM PLANTING TABLETS. QUANTITY PER MANUFACTURER'S RECOMMENDATIONS.
- 15. CONTRACTOR'S MAINTENANCE SHALL INCLUDE:
- PRUNING, CULTIVATING, WEEDING, WATERING, AND APPLICATION OF APPROPRIATE INSECTICIDES AND FUNGICIDES NECESSARY TO MAINTAIN PLANTS FREE OF INSECTS AND DISEASE UNTIL FINAL ACCEPTANCE BY OWNER.
- RE-SET SETTLED PLANTS TO A PROPER GRADE AND POSITION.
- RESTORE PLANTING SAUCER AND ADJACENT MATERIAL AND REMOVE AND REPLACE DEAD MATERIAL.
- TIGHTEN AND REPAIR GUY WIRES AND STAKES AS REQUIRED ONLY IF ORIGINALLY
- CORRECT DEFECTIVE WORK AS SOON AS POSSIBLE AFTER DEFICIENCIES BECOMES APPARENT AND WEATHER AND SEASON PERMIT.

KEY NOTES (TYPICAL) (#)

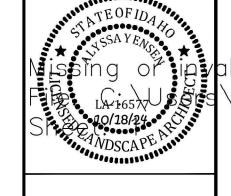
- . CLEAR VISION TRIANGLE. NO TREES SHALL BE PLANTED WITHIN A CLEAR VISION TRIANGLE. THE MAXIMUM HEIGHT OF ANY VEGETATIVE GROUND COVER AT MATURITY WITHIN THE CLEAR VISION TRIANGLE SHALL BE 3' FROM THE ADJACENT STREET GRADE.
- 2. REQUIRED PARKING ISLAND TREE WITHIN CLEAR VISION TRIANGLE TO BE PRUNED A MINIMUM HEIGHT OF 10' ABOVE THE GROUND OR SIDEWALK SURFACE AND 14' ABOVE THE ADJACENT ROADWAY SURFACE PER CITY OF CALDWELL CODE 10-07-07.
- 3. ALL PLANTED BEDS TO RECEIVE A MIN. 3" DEPTH ORGANIC PERMABARK (ROCK) MULCH WITH PERMEABLE FABRIC WEED BARRIER. SUBMIT SAMPLE TO OWNER FOR APPROVAL PRIOR TO ORDERING AND INSTALLING. THE USE OF MULCH OR ROCK AS THE ONLY GROUND COVER IN REQUIRED PLANTING ARES IS PROHIBITED. IMPERMEABLE PLASTIC WEED BARRIERS ARE PROHIBITED.
- 4. EXISTING LANDSCAPING AND IRRIGATION TO REMAIN. RETAIN, PROTECT, AND OR ADJUST AS SHOWN. CONTRACTOR SHALL FIELD VERIFY LIMITS OF DISTURBANCE AND PATCH BACK ALONG PHASE BOUNDARY AS NECESSARY. TRANSITION BETWEEN NEW AND EXISTING LANDSCAPE SHALL BE NON RECOGNIZABLE AND COHESIVE WHEN FINISHED. CONTRACTOR IS RESPONSIBLE TO REPAIR ALL EXISTING LANDSCAPE PLANTING AREAS AND IRRIGATION COMPONENTS DAMAGED AS A RESULT OF NEW CONSTRUCTION. THE CONTRACTOR SHALL ENSURE THAT THE EXISTING IRRIGATION SYSTEM REMAINS OPERABLE DURING CONSTRUCTION AND THAT FOLLOWING CONSTRUCTION, THE EXISTING IRRIGATION SYSTEM OPERATES AS GOOD, OR BETTER THAN EXISTED PRIOR TO THIS PROJECT. CONTRACTOR SHALL REPLACE, AT NO ADDITIONAL COST TO THE OWNER, PLANT MATERIALS DAMAGED DURING EXECUTION OF THIS PROJECT OR DAMAGED DUE TO THE CONTRACTORS FAILURE TO MAINTAIN OPERATION OF THE EXISTING SYSTEM DURING THE COURSE OF CONSTRUCTION.
- 10. APPROXIMATE LOCATION OF IRRIGATION POINT OF CONNECTION. INSTALL BACKFLOW PREVENTION DEVICE IN LANDSCAPE BED AND CONCEAL WITH PLANT MATERIAL. COMPLY WITH REQUIREMENTS OF UTILITY SUPPLYING WATER FOR PREVENTION OF BACKFLOW AND BACK—SIPHONAGE, SEE IRRIGATION GENERAL NOTES.
- 11. EXISTING TREE TO BE RELOCATED. SEE KEY NOTE #7 AND PLANT SCHEDULE.
- 12. RELOCATED EXISTING TREE. SEE KEY NOTE #6 AND PLANT SCHEDULE.
- 13. INSTALL 3' DIAMETER SHOVEL CUT TREE RING, WITH BARE EARTH SURFACE AT ALL TREES WITHIN TURF AREAS.

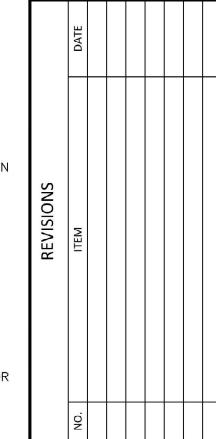
GENERAL IRRIGATION NOTES

- NO GUARANTEE IS MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN, OR SHOWN CORRECTLY. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE CONTRACTOR'S RESPONSIBILITY.
- 2. THE CONTRACTOR IS RESPONSIBLE TO FURNISH AND INSTALL A COMPLETE IRRIGATION SYSTEM WHICH PROVIDES ADEQUATE WATER COVERAGE TO ALL LAWN AND PLANTING AREAS. THE WORK SHALL CONSIST OF PROVIDING AND INSTALLING ALL MATERIALS NECESSARY FOR A COMPLETE SYSTEM INCLUDING POINT OF CONNECTION, PIPE, VALVES, FITTINGS, HEADS, AUTOMATIC CONTROLS, AND ALL ASSOCIATED LABOR. THE CONTRACTOR SHALL FURNISH THE LANDSCAPE ARCHITECT WITH A SHOP DRAWING SHOWING THE DESIGN LAYOUT, PIPE SIZE AND TYPE, VALVE LOCATIONS AND TYPE, HEAD LOCATIONS AND TYPE, CONTROLLER LOCATION AND TYPE, WIRE SIZING, ETC... FOR APPROVAL PRIOR TO CONSTRUCTION.
- 3. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND FEES REQUIRED FOR THIS WORK
- 4. ALL MATERIALS SHALL BE NEW AND WITHOUT FLAWS OR DEFECTS.
- 5. INSTALLATION SHALL COMPLY WITH ALL NATIONAL, STATE, AND LOCAL LAWS AND ORDINANCES.6. POINT OF CONNECTION: COMPLY WITH REQUIREMENTS OF UTILITY SUPPLYING WATER FOR PREVENTION OF BACKFLOW AND BACK-SIPHONAGE
- 7. COVERAGE; THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE ONE HUNDRED PERCENT (100%) COVERAGE WITH HEAD TO HEAD SPACING OR TRIANGULAR SPACING AS APPROPRIATE.
- 8. MATCHED PRECIPITATION RATES: SPRINKLER HEADS SHALL HAVE MATCHED PRECIPITATION RATES WITHIN EACH CONTROL VALVE.
- 9. IRRIGATION DISTRICTS: SPRINKLER HEADS IRRIGATING LAWN OR OTHER HIGH WATER DEMAND AREAS SHALL BE CIRCUITED SO THAT THEY ARE ON SEPARATE ZONES FROM THOSE IRRIGATING TREES, SHRUBS, OR OTHER REDUCED WATER DEMAND AREAS.
- 10. OVERSPRAY: SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES SUCH AS STREETS, SIDEWALKS, DRIVEWAYS, AND PARKING
- 11. PRIOR TO COMMENCING WORK, CONTRACTOR TO CONFIRM PSI IS ADEQUATE TO FURNISH AND INSTALL A COMPLETE IRRIGATION SYSTEM WHICH PROVIDES ADEQUATE WATER COVERAGE TO ALL LAWN AND PLANTING AREAS. SHOULD THE PSI BE LESS THAN ADEQUATE, NOTIFY THE ARCHITECT IMMEDIATELY. IN THE EVENT THAT THE ARCHITECT IS NOT NOTIFIED PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY NECESSARY REVISIONS.
- 12. WHERE APPLICABLE, LABEL ALL IRRIGATION RISERS, FAUCETS, VALVE BOXES, AND VAULTS WITH DURABLE TAGS CARRYING THE WARNING "DANGER—UNSAFE WATER OR NON—POTABLE WATER."
- 13. INSTALL ALL PIPING AND VALVES IN PLANTING AREAS WHERE POSSIBLE, AND LOCATE ELECTRIC CONTROL AND QUICK COUPLING VALVES IN GROUND COVER/SHRUB AREAS, 6" TO 12" AWAY FROM EDGE OF PAVEMENT FOR EASE OF ACCESS.
- 14. PROVIDE UNDERGROUND IRRIGATION SYSTEM AS A COMPLETE UNIT PRODUCED BY A SINGLE ACCEPTABLE MANUFACTURER, INCLUDING HEADS, VALVES, CONTROLS, AND ACCESSORIES.
- 15. A MIN. OF 4" POP-UPS ARE TO BE USED IN ALL LAWN AREAS. DRIP IRRIGATION TO BE USED IN ALL PLANTER BEDS.
- 16. THE IRRIGATION CONTRACTOR IS RESPONSIBLE TO SIZE CIRCUIT PIPING. WATER VELOCITY IN ALL PIPES SHALL NOT EXCEED FIVE FEET PER SECOND. MINIMUM PIPE SIZE TO BE 1".
- 17. CONTRACTOR IS RESPONSIBLE FOR INSTALLING SLEEVES UNDER ALL ROADWAY, PARKING, AND WALKWAY SURFACES. EXTEND 6" MINIMUM BEYOND SURFACE EDGE. IDENTIFY ENDPOINTS OF SLEEVING.
- 18. ALL IRRIGATION HEADS LOCATED ADJACENT TO ROAD SURFACES NOT PROTECTED BY A VERTICAL CONCRETE CURB SHALL BE PLACED 18" FROM THE EDGE OF THE ROAD SURFACE.
- 19. WHERE APPLICABLE, CONTRACTOR IS RESPONSIBLE TO PROVIDE 120 VOLT POWER AND ALL REQUIRED CIRCUITS FROM THE ELECTRICAL PANEL TO THE IRRIGATION CONTROLLER SIZE WIRE AND CONDUIT AS REQUIRED.
- 20. CONTRACTOR IS RESPONSIBLE TO REPAIR ALL EXISTING IRRIGATION COMPONENTS DAMAGED AS A RESULT OF NEW CONSTRUCTION, INCLUDING ADJACENT PROPERTIES. REPAIR INCLUDES BUT IS NOT LIMITED TO PIPING, VALVES, HEADS, DRIP COMPONENTS, CONTROL WIRES AND EQUIPMENT, AND SLEEVES. IF APPLICABLE, IRRIGATION CONTRACTOR SHALL ENSURE THAT THE EXISTING IRRIGATION SYSTEM REMAINS OPERABLE DURING CONSTRUCTION AND THAT FOLLOWING CONSTRUCTION, THE EXISTING IRRIGATION SYSTEM OPERATES AS GOOD, OR BETTER THAN EXISTED PRIOR TO THIS PROJECT.
- 21. CONTRACTOR SHALL REPLACE, AT NO ADDITIONAL COST TO THE OWNER, PLANT MATERIALS DAMAGED DURING EXECUTION OF THIS PROJECT OR DAMAGED DUE TO THE CONTRACTORS FAILURE TO MAINTAIN OPERATION OF THE EXISTING SYSTEM DURING THE COARSE OF CONSTRUCTION
- 22. LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR DISCREPANCIES BETWEEN DESIGN DRAWINGS AND ACTUAL SITE CHARACTERISTICS. CONTRACTOR SHALL FIELD VERIFY ALL INFORMATION PROVIDED ON DRAWINGS. CONTRACTOR SHALL STOP CONSTRUCTION AND CONTACT THE OWNER IMMEDIATELY FOR FURTHER DIRECTION IF DISCREPANCIES OCCUR.
- 23. UPON COMPLETION, AND PRIOR TO FINAL PAYMENT, THE IRRIGATION CONTRACTOR SHALL PROVIDE A NEAT AND LEGIBLE AS—CONSTRUCTED IRRIGATION PLAN, AN OPERATION AND MAINTENANCE MANUAL, AND UP TO (8) HOURS OF ORIENTATION AND/OR TRAINING FOR THE OWNERS MAINTENANCE AND OPERATIONS STAFF.
- 24. THE ENTIRE SYSTEM SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF IT'S ACCEPTANCE. REPAIR OR REPLACEMENT OF ANY DEFECTS OCCURRING WITHIN THAT YEAR SHALL BE COMPLETED PROMPTLY BY THE IRRIGATION CONTRACTOR AT NO ADDITIONAL COST TO
- 25. CONTRACTOR SHALL PROVIDE, AT NO ADDITIONAL COST TO THE OWNER, SPRING START UP AND WINTERIZATION DURING THE GUARANTEE PERIOD.

TREE PROTECTION NOTES

- THE CONTRACTOR SHALL TAKE EXTREME CARE TO PROTECT THE CRITICAL ROOT ZONE OF ALL TREES AT ALL TIMES THROUGHOUT PROJECT.
- 2. PRIOR TO COMMENCING WORK, TEMPORARY FENCING SHALL BE INSTALLED IMMEDIATELY AROUND EACH TREE IMPACTED BY DEMOLITION OR CONSTRUCTION. FENCING SHALL BE MAINTAINED THROUGHOUT THE COURSE OF THE ENTIRE DEMOLITION AND CONSTRUCTION PROCESS.
- 3. BULK MATERIAL, EQUIPMENT, VEHICLES, AND CONSTRUCTION DEBRIS AND WASTE SHALL NOT BE STOCKPILED WITHIN THE CRITICAL ROOT ZONE.
- 4. COMPACTION BY EQUIPMENT TRAFFIC IS PROHIBITED WITHIN THE CRITICAL ROOT ZONE.
- 5. MAINTAIN WATERING WITHIN THE CRITICAL ROOT ZONE. APPLY A MIN. 1.5" OF WATER OVER THE CRITICAL ROOT ZONE PER WEEK, THIS IS A MIN. RECOMMENDATION. CONTRACTOR IS RESPONSIBLE TO DETERMINE IF MORE WATER IS NECESSARY DURING CONSTRUCTION.
- 6. ANY DAMAGE TO EXISTING TREES DURING CONSTRUCTION SHALL BE THE CONTRACTORS RESPONSIBILITY. THE CONTRACTOR SHALL PERFORM REMEDIAL WORK TO DAMAGED TREES AT THE CONTRACTOR'S EXPENSE.





NYON SPRINGS PARKING I CALDWELL, ID LANDSCAPE PLAN

E N G I N E E R I N G
5725 NORTH DISCOVERY WAY
BOISE, IDAHO 83713
PHONE (208) 639-6939

DESIGN BY:	MPH
DRAWN BY:	MPH
CHECKED BY:	AY
DATE:	10/18/24
PROJECT:	23-220
SHEET NO.	

kmengllp.com

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2015-034137 RECORDED 09/02/2015 08:15 AM

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CHRIS YAMAMOTO
CANYON COUNTY RECORDER
Pgs=3 BJBROWN \$16.00
DEED
KM ENGINEERING

QUITCLAIM DEED Parcel 1

FOR VALUE RECEIVED, TC Property Management, Ltd., a California limited partnership,

does hereby convey, release, remise and forever quit claim unto

TC Property Management, Ltd., the same California limited partnership, whose current address is PO Box 38, Davis, CA 95617,

the following described premises:

See Attached Exhibit A

TO HAVE AND TO HOLD said premises, unto said grantees, heirs and assigns forever.

Date:

By TCC Properties, Inc., General Partner By Theodore C. Caldwell, President

See Attached California Notary Sheet

ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is

who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.
State of California County of <u>Yolo</u>
On Aug. 31. 2015 before me, Umondora Notary Public. (insert name and title of the officer)
personally appearedTheodore C. Caldwell who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/the/ executed the same in his/her/the/r authorized capacity(ies), and that by his/her/the/r signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.
I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.
WITNESS my hand and official seal. V. MENDOZA COMM. #2016113 & Notary Public * California & Yelo County Comm. Expires Mar 29, 2017
Signature (Seal)



August 27, 2015 Project No.: 15-047 Parcel 1 Legal Description

Parcel 1 as shown on a Record of Survey recorded as Instrument # 2015-034136

A parcel of land being a portion of the Southwest 1/4 of the Southeast 1/4 Section 9, Township 4 North, Range 3 West, Boise Meridian, Canyon County, Idaho and being more particularly described as follows:

Commencing at a set 5/8-inch rebar marking the South 1/4 corner of said Section 9, which bears N89°18′32″W a distance of 1,329.07 feet from a found brass cap marking the East 1/16 corner of Said Section 9 and Section 16, which bears N89°30′09″W a distance of 1,329.76 feet from a found aluminum cap marking the Southwest corner of said Section 9, thence following the westerly line of said Southwest 1/4 of the Southeast 1/4, N00°55′55″E a distance of 157.65 feet to a set 5/8-inch rebar and being the **POINT OF BEGINNING.**

Thence following the westerly line of said Southwest 1/4 of the Southeast 1/4, N00°55′55″E a distance of 382.92 feet to a set 5/8-inch rebar on the southerly right-of-way line of State Highway 20/26; Thence following said southerly line the following courses:

- 1. S68°40'04"E a distance of 57.97 feet to a set 5/8-inch rebar;
- 2. S51°31'00"E a distance of 67.84 feet to a set 5/8-inch rebar;
- 3. 387.18 feet along the arc of a circular curve to the right, said curve having a radius of 2,804.79 feet, a delta angle of 7°54′33″, a chord bearing of S64°42′47″E and a chord distance of 386.87 feet to a set 5/8-inch rebar;

Thence leaving said southerly line, S29°14′30″W a distance of 258.87 feet to a set 5/8-inch rebar; Thence 284.23 feet along the arc of a circular curve to the left, said curve having a radius of 600.00 feet, a delta angle of 27°08′33″, a chord bearing of N75°29′43″W and a chord distance of 281.58 feet to a set 5/8-inch rebar:

Thence N89°03′59"W a distance of 64.08 feet to the POINT OF BEGINNING.

Said parcel contains 2.882 acres, more or less, and is subject to all existing easements and/or rights-of-way of record or implied.



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PROPERTY OWNER ACKNOWLEDGEMENT

COMMUNITY DEVELOPMENT – PLANNING & ZONING – 205 S 6TH AVE, CALDWELL ID

I, IC Property Managemen			ed owner for real property addressed
as 21965 Chicago St (Parcels R34)	55001000,R3465001100, F	34949014A0, R349490	1400, R34650011A0,)Suite #,
City <u>Caldwell</u>	State ID	Zip <u>83607</u>	, am aware of, in agreement with,
and give my permission to _	KM Engineering, LLP	· · · · · · · · · · · · · · · · · · ·	, to submit the
accompanying application(s) pertaining to this pro	perty.	
	y dispute as to the stat		employees harmless from any claim herein or as to the ownership of the
2. I hereby grant permissio inspection(s) related to proceed			ject property for the purpose of site
Dated this July 14, 707	5day of	July	,2025
			flue
	(Sig	gnature)	
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	CERTIFICATE (OF VERIFICATIO	N
California STATE OF IDAHO)	· · · · · · · · · · · · · · · · · · ·		•
County at Yolo) ss.		÷	
I, Landon Christ	nger	, a Notary P	ublic, do hereby certify that on this
14 day of <u>JUU</u>	, in	the year, 207	5, personally appeared before me
Theodore Caldwi	$\frac{\sqrt{1}}{\sqrt{1}}$, known or id	entified to me to be	the person whose name is subscribe
to the foregoing instrument, who	o, being by me first du	ly sworn, declared t	hat he/she/they signed the foregoing
document, and that the statemen	ts therein contained ar	e true.	
		•	
NOTARY PUBLIC FOR IDAH	ncA		LANDON CHRISTENSEN
<i>د.</i> د.	an's (A 956	1-C	Notary Public - California Yolo County Commission # 2451946
My Commission Expires UN	N272027		My Comm. Expires Jul 27, 2027
	1-11-		

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CHRIS YAMAMOTO
CANYON COUNTY RECORDER
Pgs=3 BJBROWN \$16.00
DEED
KM ENGINEERING

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TO HAVE AND TO HOLD said premises, unto said grantees, heirs and assigns forever.

Date:

By TCC Properties, Inc., General Partner By Theodore C. Caldwell, President

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