



CITY OF
Caldwell, Idaho

Planning & Zoning

HEARING REVIEW APPLICATION

Type of Review Requested (check all that apply)

- ☐ Annexation/Deannexation
- ☐ Appeal/Amendment
- ☐ Comprehensive Plan Map Change
- ☐ Design Review
- ☐ Ordinance Amendment
- ☐ Rezone
- ☐ Special Use Permit
- ☒ Subdivision- Preliminary Plat
- ☐ Subdivision- Final Plat
- ☐ Subdivision- Short Plat
- ☐ Time Extension
- ☐ Variance
- ☐ Other _____

STAFF USE ONLY:

File number(s): _____

Project name: _____

Date filed: _____ Date complete: _____

Related files: _____

Subject Property Information

Address: 1102 N. 3rd Ave. Caldwell Parcel Number(s): 02125000 0

Subdivision: Golden Gate Add Block: 48 Lot: _____ Acreage: 0.30 Zoning: _____

Prior Use of the Property: residential

Proposed Use of the Property: residential / single family home

Applicant Information:

Applicant Name: Ideal Custom Homes Phone: 208-794-5732

Address: 15777 Quartz Ln. City: Wilder State: ID Zip: 83676

Email: katie.idealcustomhomes@gmail.com Cell: 208-794-5732

Owner Name: Burke Deal Phone: 208-794-5732

Address: 15777 Quartz Ln. City: Wilder State: ID Zip: 83676

Email: burke@idealcustomhomes.net Cell: 208-794-5732

Agent Name: (e.g., architect, engineer, developer, representative) Katie Deal

Address: 15777 Quartz Ln. City: Wilder State: ID Zip: 83676

Email: katie.idealcustomhomes@gmail.com Cell: 208-794-5732

Authorization

Print applicant name: Katie Deal

Applicant Signature: Katie Deal Date: 12/27/2023



- ☐ **Public Amenities:** Location, size, and types of new structures for recreational use (i.e., gazebos, water features, picnic areas, shuffleboard, etc.)

SECTION 6: Information Tables

GENERAL PROJECT INFORMATION

Type of land uses within subdivision:	<input checked="" type="checkbox"/> Residential only <input type="checkbox"/> Commercial only <input type="checkbox"/> Industrial only <input type="checkbox"/> Mixed-use (mix of residential and non-residential uses)
Has your development / subdivision name, street names, and lot and block numbers been approved by the City of Caldwell Mapping Division?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, have you made any changes or modifications to the previously approved pre-plat approved by Mapping? <input type="checkbox"/> Yes <input type="checkbox"/> No
Will the subdivision be phased?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, how many phases are proposed?
Development timeline for full build out?	1 year

LAND USE AND ZONING INFORMATION

	Zoning Designation	Comp Plan Designation	Land Use
Existing (Subject Property)	T-N		residential
Proposed (Subject Property)	T-N		residential
North of Site	R-2		residential
South of Site	R-2		residential
East of Site	R-2		residential
West of Site	R-2		residential

Please advise on old or new comp plan

PROJECT SPECIFIC INFORMATION

	Number of Lots	Acres	Percent of "Net" Acres <small>Net acreage is the total acreage minus any public streets and public rights of way</small>
Total area 0.43			
Residential Lots	6	0.151	0.35
Commercial Lots	0	0	
Industrial Lots	0	0	
Common Lots	2	0.058	0.13



City of Caldwell
Planning and Zoning Department
 Phone: (208) 455-3021 | Web: www.cityofcaldwell.org

EXISTING AND PROPOSED BUILDING DATA

	# of EXISTING buildings	# of PROPOSED buildings	# of EXISTING dwelling units	# of PROPOSED dwelling units	Max. Building Height	Total GROSS square footage of buildings
Residential:						
Single-family (detached) homes	0	0	2	0		
Townhomes	0	0	0	0		
Two-family (duplex)						
Three-family residential (triplex)						
Four, five and six family (fourplex, five plex, and six plex)	0	1	2	0		
Multi-family (7 or > dwelling units) in a single building	0					
Commercial			N/A	N/A		
Industrial			N/A	N/A		
Type of Commercial or Industrial Buildings:	<input type="checkbox"/> Single-tenant buildings <input checked="" type="checkbox"/> multi-tenant buildings					

DENSITY AND OPEN SPACE

Dwelling units per gross acre (Density):	Max. Allowed	Proposed	
	13.95	6	
Total Open Space	% Required	% Proposed	Acreage Proposed
	10%	197	0.06
Total "Qualifying" Open Space	% Required	% Proposed	Acreage Proposed

13212.50



City of Caldwell
Planning and Zoning Department
Phone: (208) 455-3021 | Web: www.cityofcaldwell.org

PARKING, LOADING AND PEDESTRIAN AMENITIES		
	Min. # Required	# Proposed
Electric vehicle parking spaces	0	0
Off-street parking spaces	2	2
Commercial loading spaces	0	0
Industrial loading spaces	0	0
Bicycle parking spaces:	0	0
Public Transportation:	Describe any public transportation facilities that are proposed. N/A	
Public Amenities:	Describe any public amenities that are being proposed. N/A	



City of Caldwell
Planning and Zoning Department
 Phone: (208) 455-3021 | Web: www.cityofcaldwell.org

LANDSCAPE STREET BUFFERS

Location (Enter Street Name)	Min. Width Required	Proposed Width	% of Sod Proposed	# of Trees Proposed	Min. Tree Spacing (in feet)	# of Shrubs Proposed	Min. Shrub Spacing (in feet)
N. 3rd Ave	20'	20'	70%	4	35	22	7
Joliet	10'	10'	70%	2	35	13	7

LAND USE BUFFERS

N/A

Location	Proposed Buffer Width	% of Sod Proposed	# of Trees Proposed	Min. Tree Caliper at Planting	Min. Tree Spacing (in feet)	# of Shrubs Proposed	Size of Shrubs at Planting (in gallons)	Min. Shrub Spacing (in feet)
North Property Line		70%	1 1					
South Property Line								
East Property Line								
West Property Line								

SIDEWALKS

Location (Street Name)	Existing Sidewalk?	Proposed Width	Type of Proposed Sidewalk
N. 3rd Avenue	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If existing, specify width: 5'	5'	<input type="checkbox"/> Meandering <input checked="" type="checkbox"/> Attached <input type="checkbox"/> Detached
Joliet	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If existing, specify width:		<input type="checkbox"/> Meandering <input type="checkbox"/> Attached <input type="checkbox"/> Detached
	<input type="checkbox"/> Yes <input type="checkbox"/> No If existing, specify width:		<input type="checkbox"/> Meandering <input type="checkbox"/> Attached <input type="checkbox"/> Detached
	<input type="checkbox"/> Yes <input type="checkbox"/> No If existing, specify width:		<input type="checkbox"/> Meandering <input type="checkbox"/> Attached <input type="checkbox"/> Detached



UTILITIES INFORMATION	
Domestic Water:	<input type="checkbox"/> Individual Domestic Well – How Many? <input type="checkbox"/> Centralized Public Water System <input checked="" type="checkbox"/> City Municipal Water System <input type="checkbox"/> N/A
Nearest Water Line Connection:	
Sewer (Wastewater):	<input type="checkbox"/> Individual Septic <input checked="" type="checkbox"/> City Municipal Sewer <input type="checkbox"/> N/A
Nearest Sewer Line Connection:	
Irrigation: <i>Irrigation plan included</i>	<input type="checkbox"/> Surface <input type="checkbox"/> Irrigation Well <input checked="" type="checkbox"/> Pressurized <input type="checkbox"/> Gravity <input type="checkbox"/> N/A
Nearest Irrigation Connection: <i>G</i>	
Irrigation District: <i>Golden Gate Irrigation District</i>	
Stormwater:	<input type="checkbox"/> Swales <input type="checkbox"/> Ponds <input type="checkbox"/> Borrow Ditches <input checked="" type="checkbox"/> Other, Explain: <i>permeable pavers</i>
Stormwater Management:	Does the site disturb one or more acres of land? <input type="checkbox"/> Yes <input type="checkbox"/> No
Fire Suppression Water Supply Source:	<i>N/A</i>
Sources of Surface Water on or Nearby Properties (i.e., creeks, ditches, canals, lake, etc.):	<i>N/A</i>



City of Caldwell
Planning and Zoning Department
Phone: (208) 455-3021 | Web: www.cityofcaldwell.org

INFRASTRUCTURE, AND PUBLIC SERVICES INFORMATION	
Type of Site Access:	<input checked="" type="checkbox"/> Street Frontage
	<input type="checkbox"/> Easement If easement, specify width: _____ Instrument # _____
Street(s) Providing Access:	N. 3rd Ave
Will Secondary Access for Fire be Provided:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please describe:
Internal Roads: N/A	<input type="checkbox"/> Public
	<input type="checkbox"/> Private
	<input type="checkbox"/> Internal Circulation
	<input type="checkbox"/> Road User's Maintenance Agreement Inst#
School Districts Serving this Location:	<input checked="" type="checkbox"/> Caldwell School District
	<input type="checkbox"/> Vallivue School District



City of Caldwell
Planning and Zoning Department
Phone: (208) 455-3021 | Web: www.cityofcaldwell.org

SPECIAL ON-SITE CHARACTERISTICS

	Yes	No	If yes, explain:
Areas of Critical Environmental Concern?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Evidence of Erosion?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Fish Habitat?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Floodplain?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Riparian Vegetation?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Steep Slopes?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Streams/Creeks?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Unique Animal/Plant Life?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Unstable Soils?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Wildlife Habitat?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Historic Buildings or Features?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Describe any other unique site characteristics:	There is none noted		



LANDSCAPING AND PATHWAYS

Please check all locations where landscaping will be provided

- ☐ Parking lot ☒ Common areas ☒ Street landscape buffers
☐ Between different land uses ☐ Adjacent to Pathways
☐ Around building exterior

Other _____

Landscaping:

Major Pathways:

Describe location, width, and landscaping.

N/A

Micro Pathways:

Describe location, width, and landscaping.

N/A

Public or Regional Pathways

Describe location, width, landscaping, and fencing per Bicycles and Pathways Master Plan.

N/A

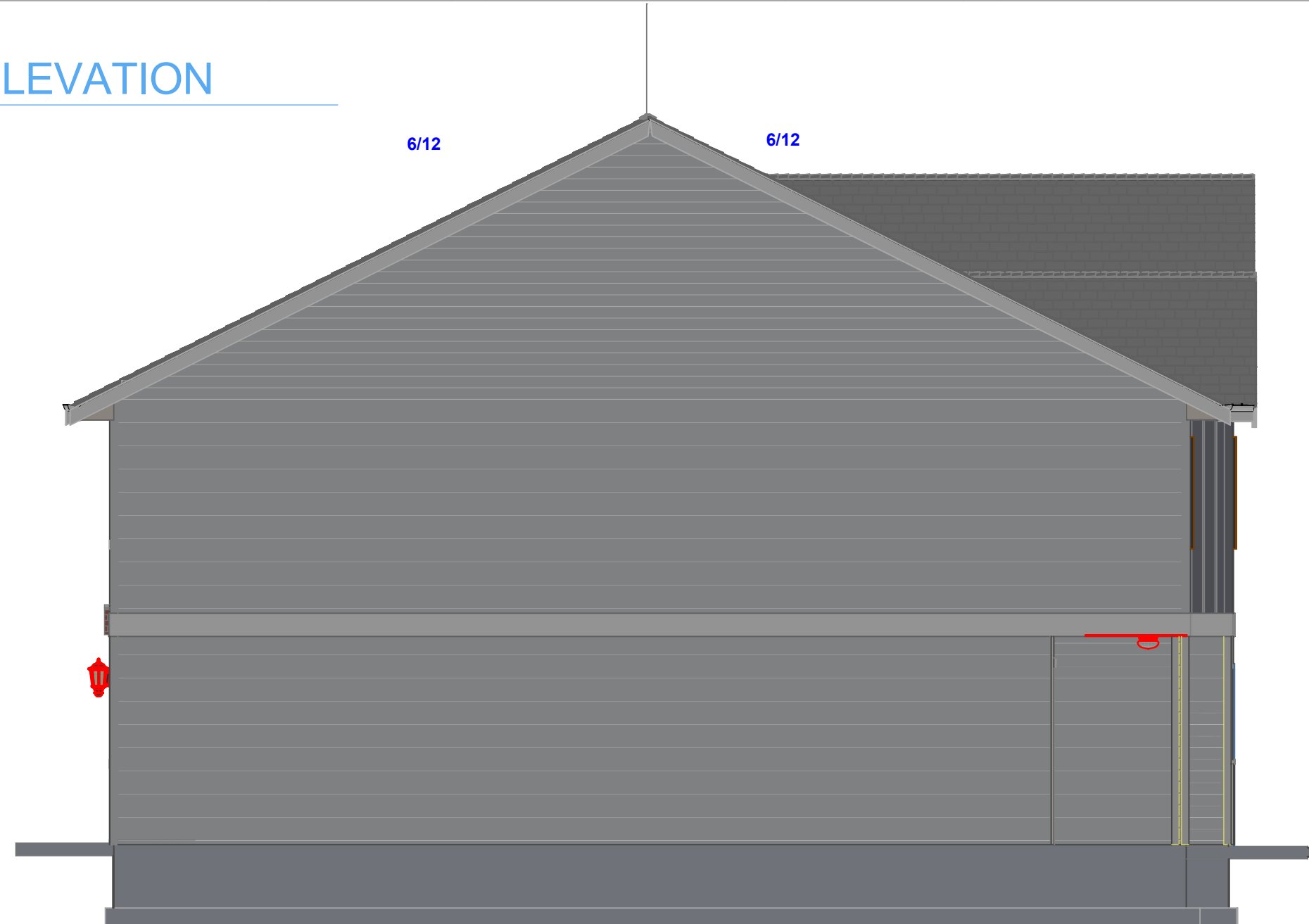
Project Narrative

The proposed activity/development for the address 1102 N 3rd Ave. Caldwell is to tear down the existing house on the property and construct a townhouse development. We are proposing to construct seven individually owned townhomes. This land has potential to greatly benefit the city of Caldwell and the residents that currently are faced with difficulty buying affordable homes. The land is an excellent opportunity for affordable housing that utilizes existing infrastructure for an infill project.

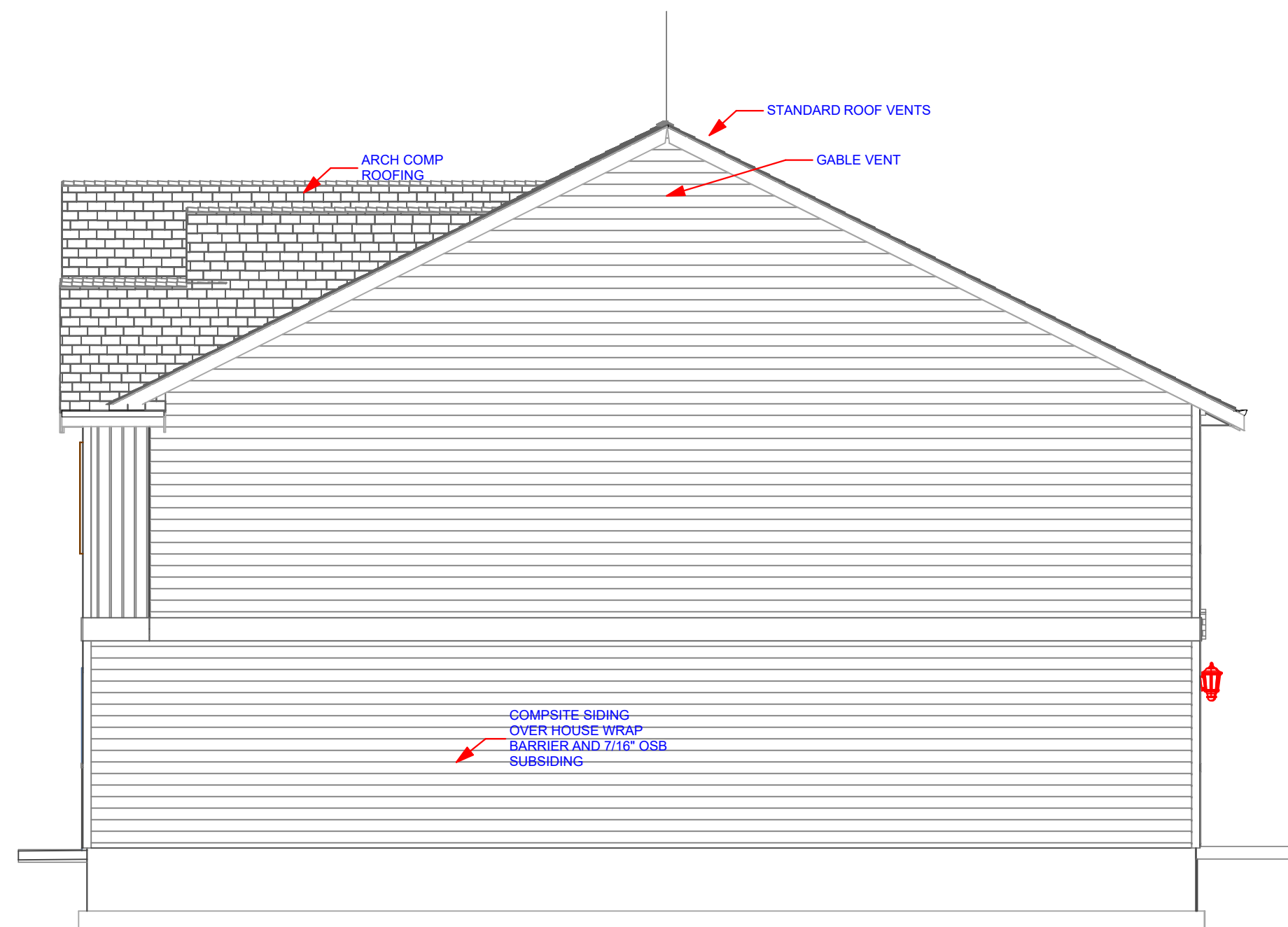
Our proposal is to divide the current parcel into seven lots and build individually owned townhomes. The plan we are presenting will allow for the seven homes to be built taking into consideration the setbacks and easements and be up to code according to all departments. We see this proposal as a good use of the land while maximizing the benefit to the community by providing the most units of affordable housing possible. The proposal meets all density requirements and is a good fit for the surrounding neighborhood as it is a mix of industrial, commercial and residential surrounding the property.



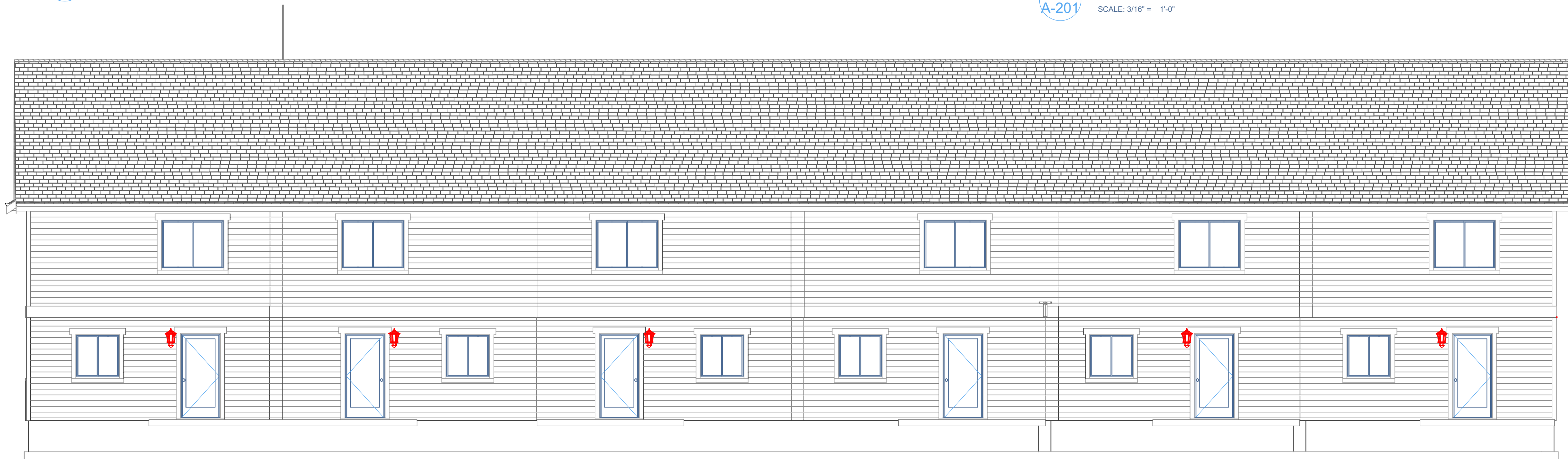
1 FRONT ELEVATION
SCALE: 3/16" = 1'-0"



3 LEFT ELEVATION
SCALE: 3/16" = 1'-0"



4 RIGHT ELEVATION
SCALE: 3/16" = 1'-0"



2 REAR ELEVATION
SCALE: 3/16" = 1'-0"

Client	
Date	
Description	
Revision No.	

PROFESSIONAL SEAL

DO NOT SCALE DRAWINGS	
Drawn By: LAWSON DESIGN INC.	Date: Monday, September 8, 2025
Scale: As Shown	JOB NUMBER: #PIn

SHEET No:
A-201

Drawing Title:
ELEVATIONS



N:\IDEAL- BURK\caldwell\ townhouse\7-24-25 TOWNHOUSE PLAT\1102 3RD AVE - Copy.pln



Phone 208-889-1422
E-MAIL: gary@lawson-design.com

PROJECT:

DEAL SUBDIVISION
1102 N. 3RD AVENUE
CALDWELL IDAHO

Client:

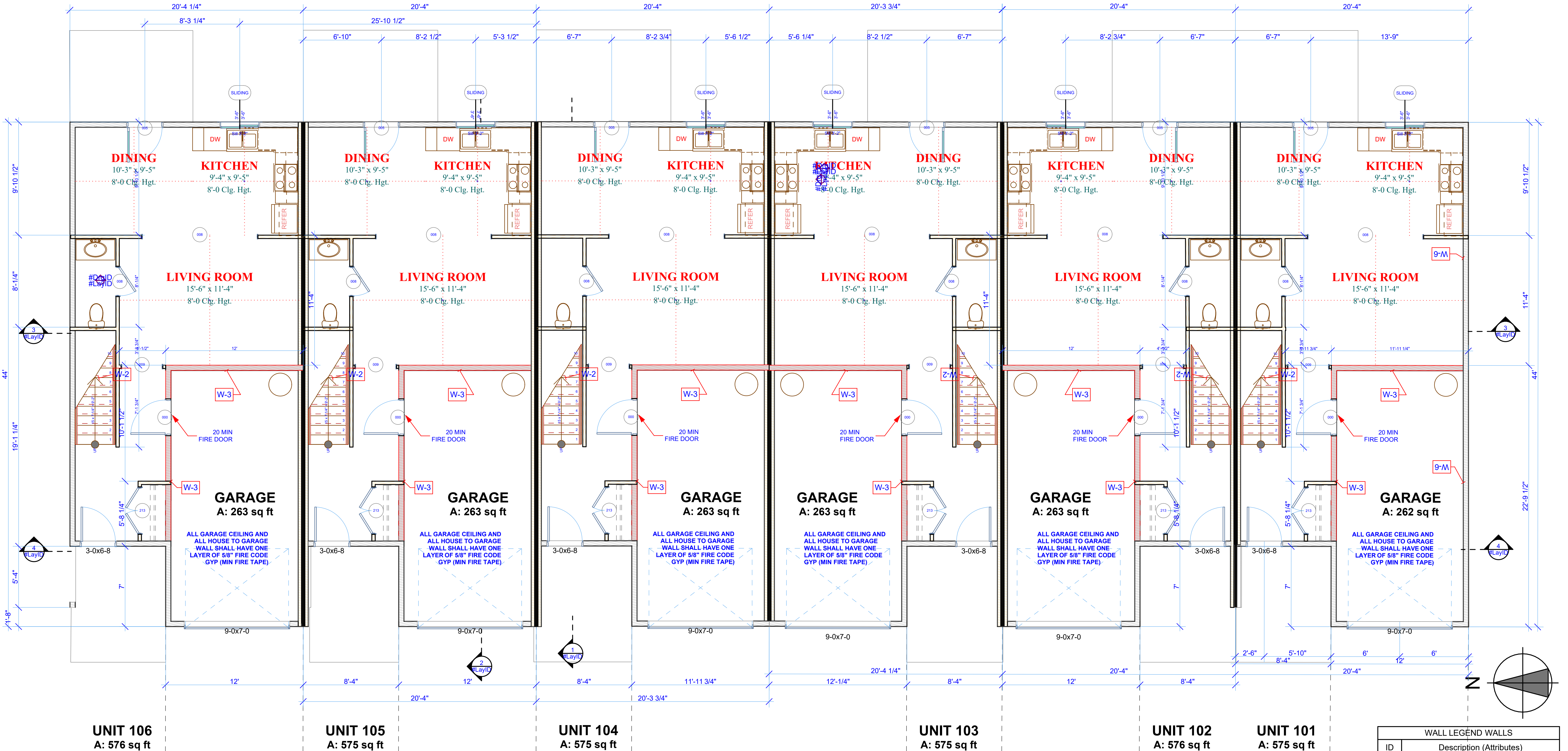


Date	Description	Revision No.

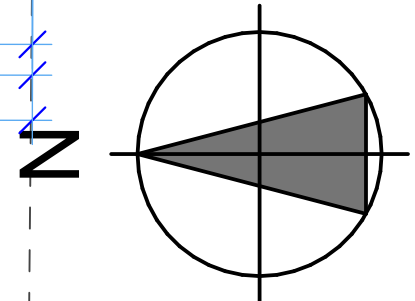
PROFESSIONAL SEAL

DO NOT SCALE DRAWINGS	
Drawn By:	Date:
LAWSON DESIGN INC.	Monday, September 8, 2025
Scale:	JOB NUMBER:
As Shown	#PIn
SHEET No:	
A-202	
Drawing Title:	
ELEVATIONS	

PLOT DATE: 9/8/2025 2:50 PM

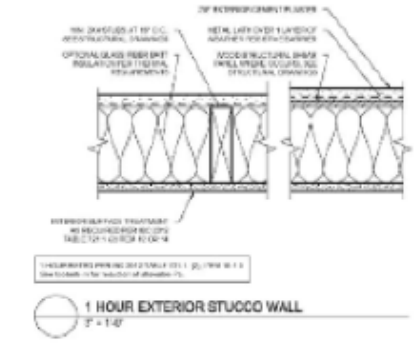
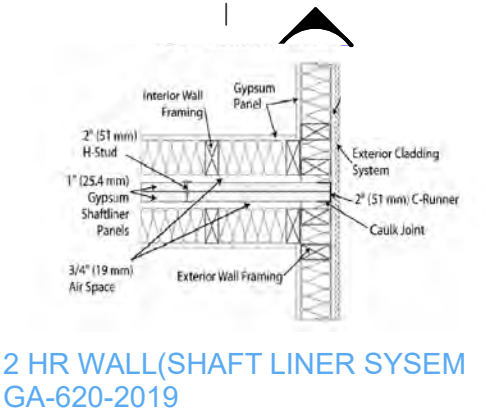


1 1st FLOOR PLAN
SCALE: 1/4" = 1'-0"



WALL LEGEND WALLS	
ID	Description (Attributes)
W-1	2X6 DF 16"O.C. 7/16"OSB SHEATHING, R-21 INSULATION, 1/2" SHEETROCK W/ VAPOR BARRIER
W-2	2x4 DF STUD WALL 16" O.C. W/ 1/2" SHEETROCK EACH SIDE
W-3	2X4 DF STUD WALL 16" O.C. W/ 5/8 FIRE CODE SHEETROCK ON GARAGE SIDE R-21 INSULATION 1/2" SHEETROCK VAPOR BARRIER-TAPE TEXT, PAINT
W-4	(2)2X4 D.F. 16" O.C. STUD WALL W/ (1) LAYERS 1/2" GYPSUM TOWARD EACH LIVING AREA TAPE, TEXTURE & PAINT & (2) LAYERS OF 1" GYPSUM SHAFTLINER PANELS W/ ALUM CLIPS AND METAL TRACKS PER MFG SPECIFICATIONS
W-5	2X6 D.F. 16"O.C. 1/2" SHEETROCK EA. SIDE
W-6	2X6 DF 16"O.C. 7/16"OSB SHEATHING, CONCRETE STUCCO (1HR)

TABLE 7.2 (2) RATED FIRE RESISTANCE PERIODS FOR VARIOUS WALLS AND PARTITIONS	
ITEM NUMBER	CONSTRUCTION
101-1, 102	2" x 8" wood studs at 16" o.c. with double top plates, single bottom plates, interior and exterior sides covered with 5/8" Type X gypsum subboard, 4 wds. spaced vertically with joints over framing or blocking and fastened with 2 1/4" Type S dry wall screws, spaced 12" o.c. interior R-19 mineral fiber insulation installed in stud cavity.



Revision No.	Description	Date



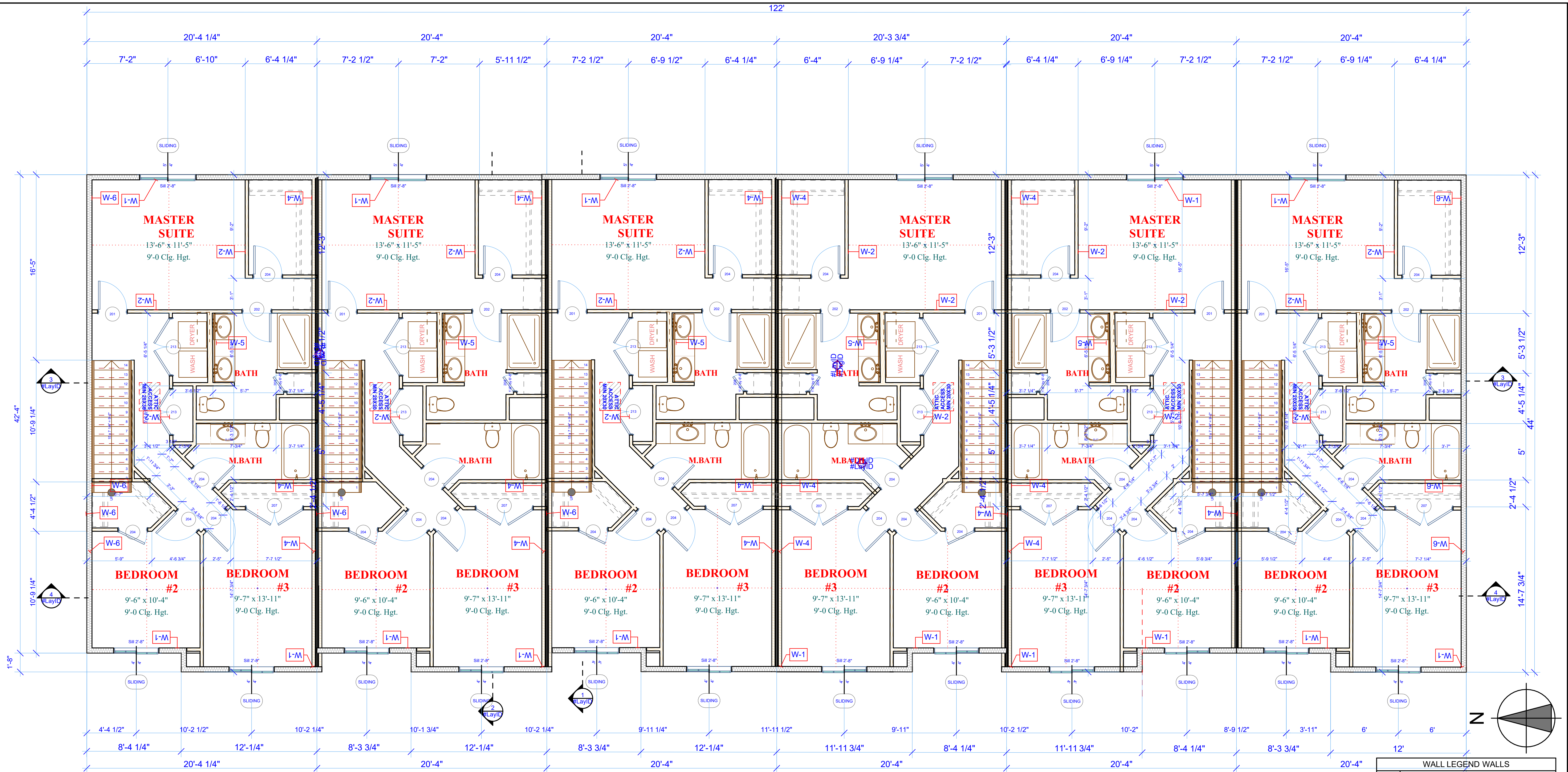
PROJECT:
DEAL SUBDIVISION
1102 N. 3RD AVENUE CALDWELL
IDAHO

DO NOT SCALE DRAWINGS	
Drawn By: LAWSON DESIGN INC.	Date: Monday, September 6, 2016
Scale: As Shown	JOB NUMBER: 10229
SHEET No: A-102	
Drawing Title: FLOOR PLANS 1/4"	

N:\IDEAL- BURK Caldwell\ townhouse\7-24-25 TOWNHOUSE PLAT\11023RD AVE - Copy.pln

PRINT DATE: 9/6/2016 2:59 PM

N:\IDEAL- BURK\caldwell\ townhouse7-24-25 TOWNHOUSE PLAT\11023RD AVE - Copy.pln



208 2ND LEVEL
A: 839 sq ft

208 2ND LEVEL
A: 838 sq ft

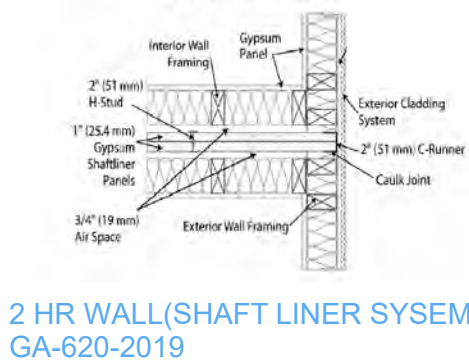
208 2ND LEVEL
A: 838 sq ft

208 2ND LEVEL
A: 839 sq ft

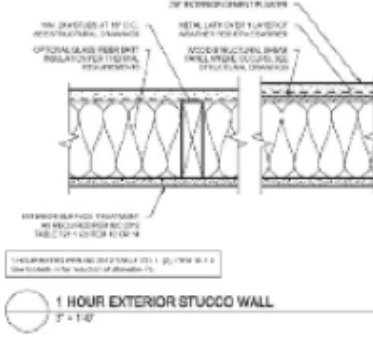
208 2ND LEVEL
A: 840 sq ft

208 2ND LEVEL
A: 837 sq ft

1 2nd FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 HR WALL/SHAFT LINER SYSEM
GA-620-2019



1 HOUR EXTERIOR STUCCO WALL
GA-620-2019

TABLE 701.1(2) RATED FIRE RESISTANCE PERIODS FOR VARIOUS WALLS AND PARTITIONS		MINIMUM FINISHED THICKNESS (INCHES)			
ITEM NUMBER	CONSTRUCTION	4	3	2	1
101-1.1(2)	2" x 8" wood studs at 16" o.c. with double top plates, single bottom plates, interior and exterior sides covered with 5/8" Type X gypsum subboard, 4 wide, aced vertically with all joints over framing or blocking and fastened with 2 1/2" Type S dry wall screws, spaced 12" o.c. interior R-13 mineral fiber insulation installed in stud cavity.	—	—	—	1 1/2"

WALL LEGEND WALLS	
ID	Description (Attributes)
W-1	2X6 DF 16" O.C. 7/16" OSB SHEATHING, R-21 INSULATION, 1/2" SHEETROCK W/ VAPOR BARRIER
W-2	2x4 DF STUD WALL 16" O.C. W/ 1/2" SHEETROCK EACH SIDE 2X6 DF STUD WALL 16" O.C. W/ 5/8" FIRE CODE SHEETROCK ON GARAGE SIDE R-21 INSULATION 1/2" SHEETROCK VAPOR BARRIER TAPE TEXT, PAINT
W-3	(2) 2X4 D.F. 16" O.C. STUD WALL W/ (1) LAYERS 1/2" GYPSUM TOWARD EACH LIVING AREA TAPE, TEXTURE & PAINT & (2) LAYERS OF 1" GYPSUM SHAFTLINER PANELS W/ ALUM CLIPS AND METAL TRACKS PER MFG SPECIFICATIONS
W-4	
W-5	2X6 D.F. 16" O.C. 1/2" SHEETROCK EA. SIDE
W-6	2X6 DF 16" O.C. 7/16" OSB SHEATHING, CONCRETE STUCCO (1HR)



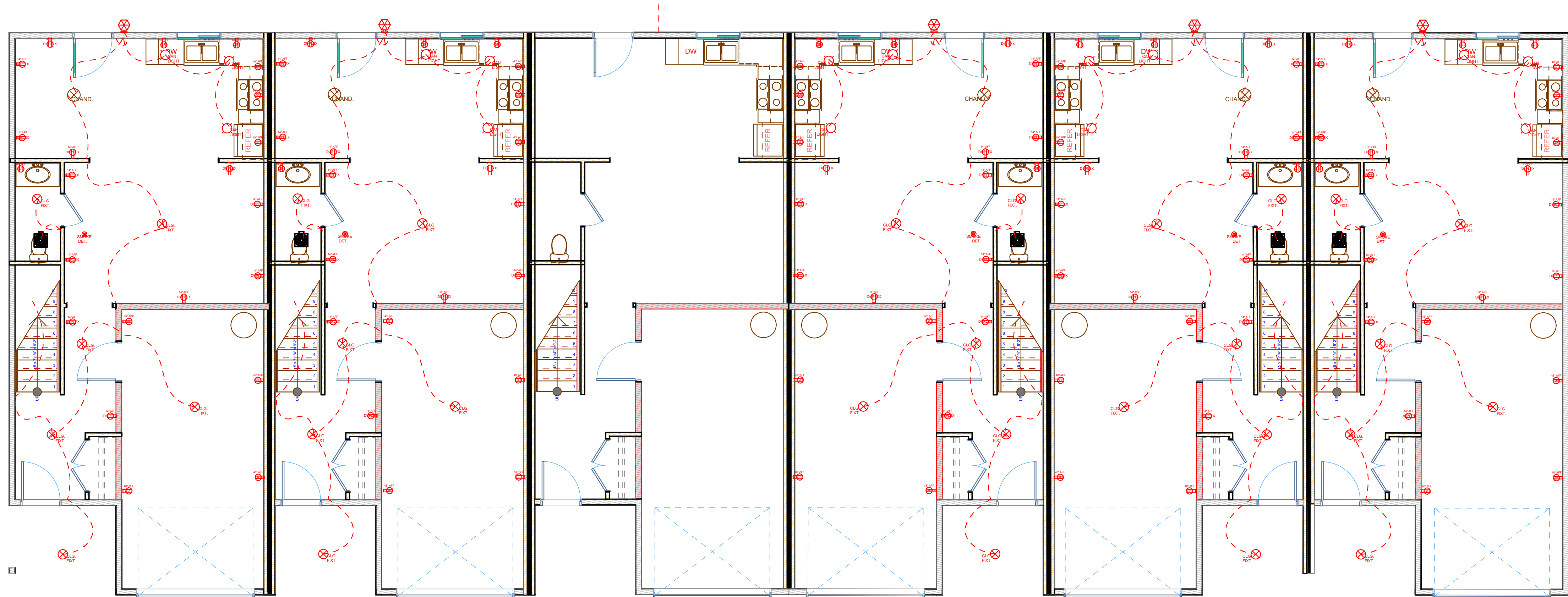
Revision No.	Description:	Date:



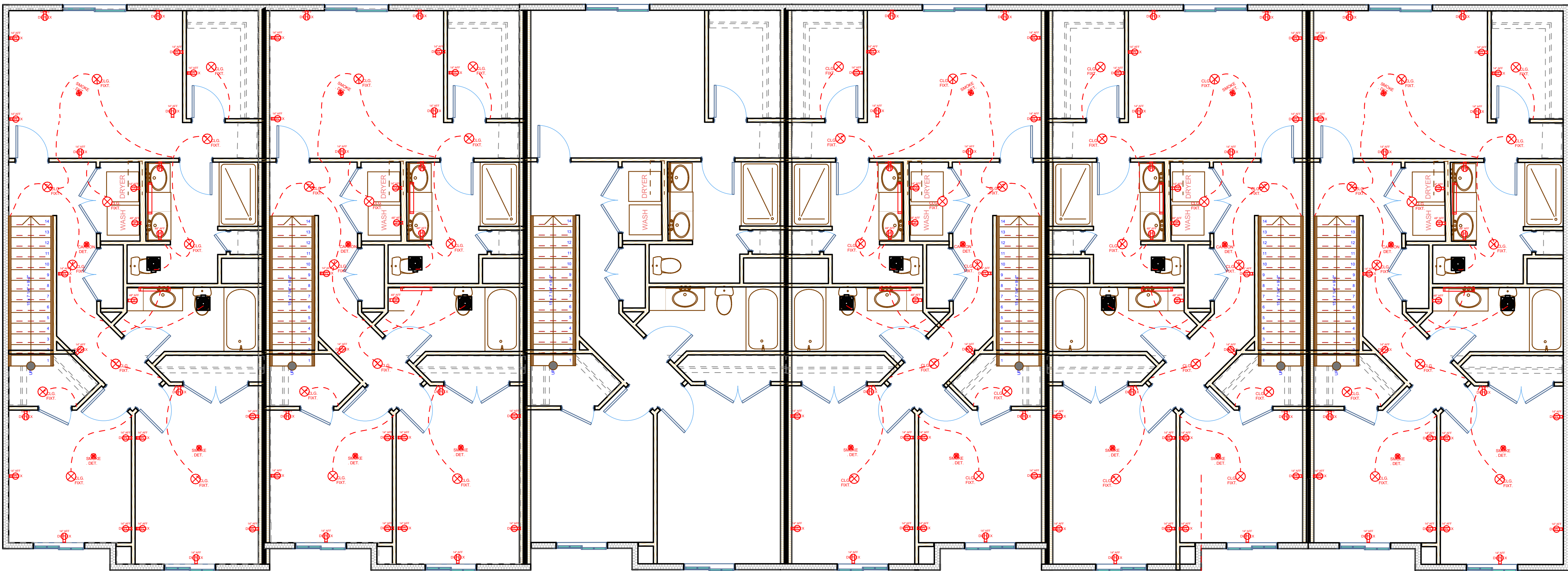
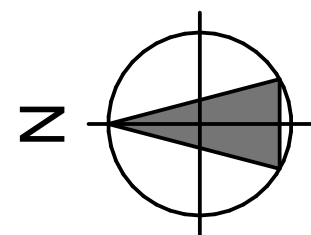
PROJECT:
DEAL SUBDIVISION
1102 N. 3RD AVENUE CALDWELL
IDAHO

DO NOT SCALE DRAWINGS	
Drawn By: LAWSON DESIGN INC.	Date: Monday, September 8, 2025
Scale: As Shown	JOB NUMBER: 10229
SHEET No: A-103	
Drawing Title: 2ND FLOOR PLAN	

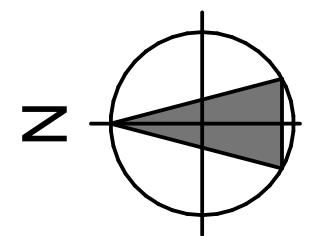
PRINT DATE: 9/8/2025, 2:50 PM



1 LEVEL 1 ELECTRICAL
SCALE: 3/16" = 1'-0"



2 2nd LEVEL ELECTRICAL
SCALE: 3/16" = 1'-0"



MECHANICAL LEDGEND		
2D Symbol	ITEM	Quantity
	50 CFM Exh. Fan	32
	220	16
	BAR LIGHT	24
	CAN LIGHT	48
	CEILING LIGHT	136
	CHANDLER	8
	DUPLEX	281
	SMOKE DETECTOR	32
	WALL SCONCE	8

Client	
Drawn By	
Date	
Description	
Revision No.	

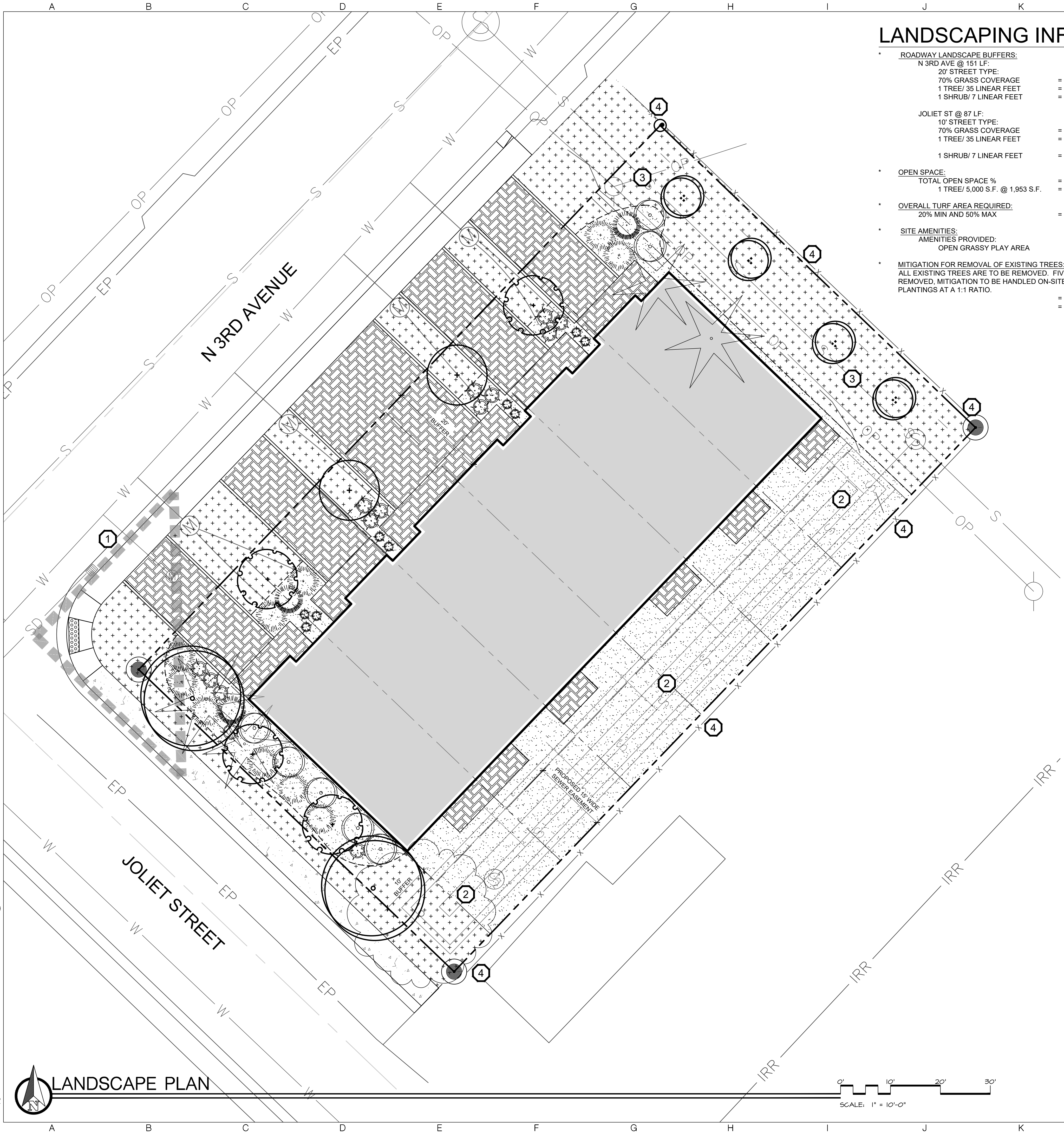
PROFESSIONAL SEAL

DO NOT SCALE DRAWINGS
Drawn By: **LAWSON DESIGN INC.** Date: **Monday, September 8, 2025**

Scale: **As Shown** JOB NUMBER: **#PIn**

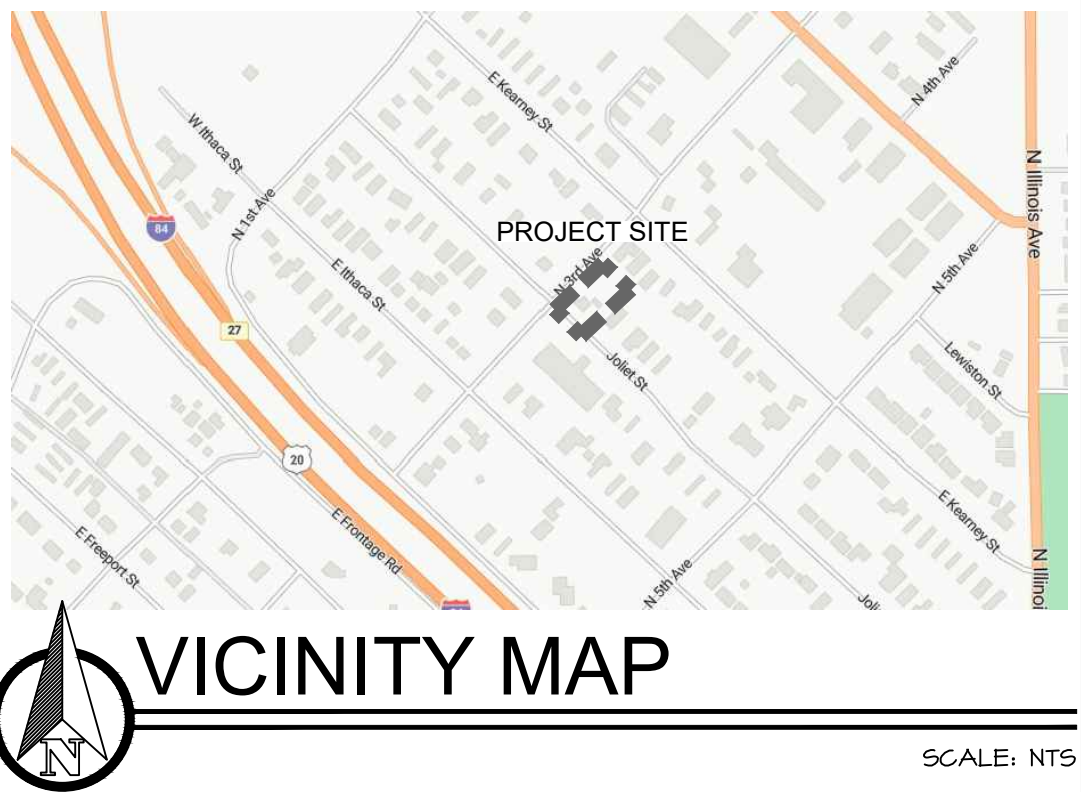
SHEET No: **M1**

Drawing Title:
ELECT PLANS



LANDSCAPING INFORMATION

- ROADWAY LANDSCAPE BUFFERS:**
N 3RD AVE @ 151 LF:
20' STREET TYPE:
70% GRASS COVERAGE = 20% REQUIRED/ 24% PROPOSED
1 TREE/ 35 LINEAR FEET = 4 REQUIRED/ 4 PROPOSED
1 SHRUB/ 7 LINEAR FEET = 22 REQUIRED/ 22 PROPOSED
- JOLIET ST @ 87 LF:
10' STREET TYPE:
70% GRASS COVERAGE = 20% REQUIRED/ 39% PROPOSED
1 TREE/ 35 LINEAR FEET = 2 REQUIRED/ 2 PROPOSED
1 SHRUB/ 7 LINEAR FEET = 12 REQUIRED/ 13 PROPOSED
- OPEN SPACE:**
TOTAL OPEN SPACE % = 10% REQUIRED/ 14% PROPOSED
1 TREE/ 5,000 S.F. @ 1,953 S.F. = 1 REQUIRED/ 1 PROPOSED
- OVERALL TURF AREA REQUIRED:**
20% MIN AND 50% MAX = 20% REQUIRED/ 28.8% PROVIDED
- SITE AMENITIES:**
AMENITIES PROVIDED:
OPEN GRASSY PLAY AREA
- MITIGATION FOR REMOVAL OF EXISTING TREES:**
ALL EXISTING TREES ARE TO BE REMOVED. FIVE EXISTING TREES TO BE REMOVED. MITIGATION TO BE HANDLED ON-SITE THROUGH ADDITIONAL TREE PLANTINGS AT A 1:1 RATIO.
= 5 TREES TO BE REMOVED
= 5 TREES TO BE PLANTED



LANDSCAPE LEGEND

- EXISTING TREES TO BE REMOVED
- PLANTS TO BE INSTALLED
- CUT EDGE, SEE DETAIL 4/L2.0
- PROPERTY LINE (VERIFY)
- RTF TURF TYPE TALL FESCUE SOD OVER APPROVED TOPSOIL AS SPECIFIED
- 3" DEPTH ROCK MULCH BY OWNER
- PERMEABLE PAVERS PER CIVIL

PLANT SCHEDULE

NOTE: All trees to be grade #1 (Shown at 80% Maturity)

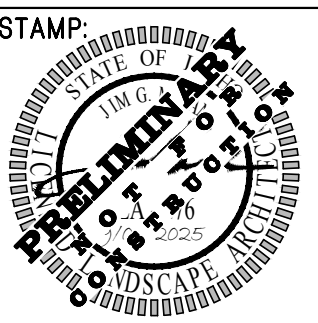
KEY	BOTANICAL NAME COMMON NAME	PLANTING SIZE	MATURE SIZE	CLASS
DECIDUOUS TREES				
	Acer platanoides 'Columnaris'	2" B&B	35' hgt. 15' w	CLASS II
	Columnar Norway Maple	2" B&B	40' hgt. 25' w	CLASS II
	Acer platanoides 'Columnarbroad'	2" B&B	40' hgt. 25' w	CLASS II
	Parkway Maple	2" B&B	20' hgt. 6' w	CLASS I
	Prunus serrulata 'Amanogawa'	2" B&B	35' hgt. 15' w	CLASS II
	Amanogawa Cherry	2" B&B	35' hgt. 15' w	CLASS II
	Quercus robur x alba	2" B&B	35' hgt. 15' w	CLASS II
	Streetspire Oak	2" B&B	35' hgt. 15' w	CLASS II
SHRUBS				
	Cornus alba 'Bailhalo'	2 Gal.	6' hgt. x 6' wide	
	Ivory Halo Dogwood	2 Gal.	6' hgt. x 6' wide	
	Picea pungens 'Globosa'	2 Gal.	4' hgt. x 6' wide	
	Dwarf Globe Blue Spruce	2 Gal.	4' hgt. x 6' wide	
	Rhus trilobata 'Autumn Amber'	2 Gal.	6' hgt. x 6' wide	
	Autumn Amber sumac	2 Gal.	6' hgt. x 6' wide	
GROUND COVERS/ GRASSES/ PERENNIALS				
	Calamagrostis x acutiflora 'Karl Foerster'	1 Gal.	3' hgt. x 2' wide	
	Karl Foerster Dwarf Feather Grass	1 Gal.	3' hgt. x 2' wide	
	Sedum spectabile 'Autumn Joy'	1 Gal.	2' hgt. x 3' wide	
	Autumn Joy Stonecrop	1 Gal.	2' hgt. x 3' wide	

CALLOUT LEGEND

- 1 40' VISION TRIANGLE
- 2 DRAINAGE SWALE PER CIVIL
- 3 OPEN GRASS PLAY AREA
- 4 EXISTING FENCE TO REMAIN

DISCLAIMER:

THIS DRAWING HAS BEEN PREPARED BASED UPON INFORMATION PROVIDED, IN PART BY OTHERS. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, SOUTH BECK AND BAIRD, P.C. CANNOT ASSURE ITS ACCURACY AND THUS IS NOT RESPONSIBLE FOR THE ACCURACY OF THIS DRAWING OR FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATE INTO IT AS A RESULT. SOUTH BECK AND BAIRD, P.C. ASSUMES NO LIABILITY FOR ANY MISINFORMATION.



DATE: 09/05/25



2000 S. Vista Ave
Boise, ID 83705
208.342.2999 Office
208.342.2999 Cell
info@sbbpa.com
www.sbbpa.com
South Landscape Architecture P.C.
Dba South Beck & Baird Landscape Architecture P.C.
MEMBER UTILITIES

Copyright © 2025
All rights reserved. Reproduction or use in any form or by any means without written permission of South Landscape Architecture P.C. Or by South Beck & Baird Landscape Architecture P.C. is unlawful and subject to criminal prosecution.

REVISIONS:		
No.	Date	Description

LANDSCAPE PLAN
CALDWELL 6 PLEX
1102 N 3RD AVE CALDWELL, ID

DRAWN BY: SCM

CHECKED BY: AUW

PROJECT NUMBER 25-288

SHEET:

L1.00

DESIGN REVIEW

LANDSCAPE NOTES:

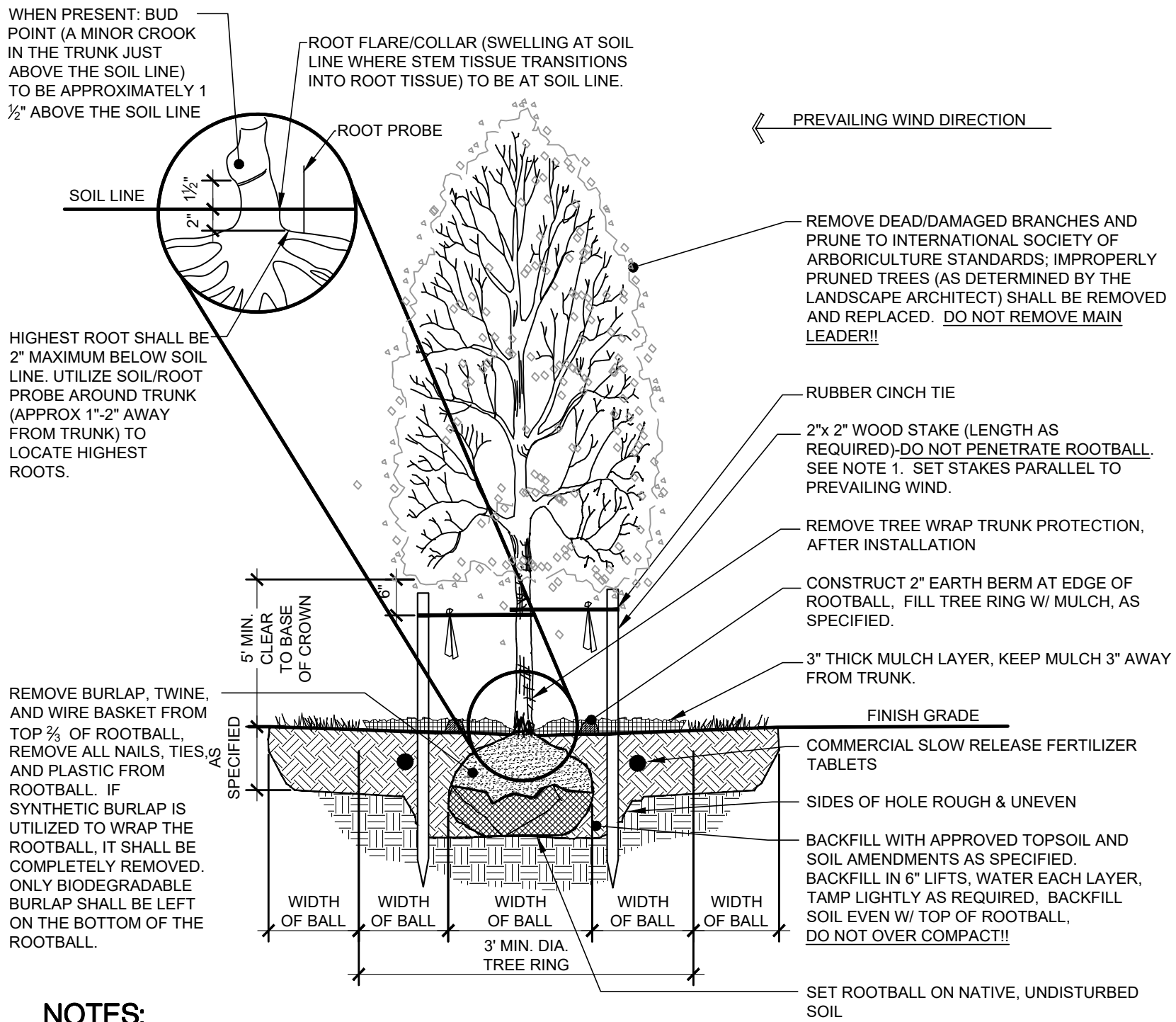
- 1. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN A SOUND AND HEALTHY CONDITION. ALL PLANT MATERIAL SHALL BE GRADE #1 OR BETTER.
- 2. ALL PLANTING BEDS AND TREE WELLS IN LAWN AREAS (WELLS TO BE 3' IN DIAMETER) SHALL BE COVERED WITH A MINIMUM OF 3" DEPTH OF 1" ROCK MULCH. SUBMIT SAMPLE FOR APPROVAL BY OWNER.
- 3. ALL LAWN AREAS SHALL BE SODDED WITH 100% TURF TYPE TALL FESCUE (FESTUCA ARUNDINACIA). CONTRACTOR SHALL VERIFY AND MATCH THE VARIETY EXISTING IN THE ADJACENT DEVELOPMENT.
- 4. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY OWNER. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER.
- 5. PLANTING BACKFILL FOR TREES AND PLANTING BEDS SHALL BE 5 PARTS TOPSOIL AND 1 PART COMPOST WITH STRAW. STAKE ALL TREES PER DETAILS.
- 6. ALL LAWN AREAS SHALL HAVE 6" OF TOPSOIL AND ALL PLANTING BEDS SHALL HAVE 12" OF TOPSOIL (MINIMUM). TOPSOIL SHALL BE A LOOSE, FRIABLE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOXIOUS WEEDS, WEED SEEDS, ROCKS, GRASS, OR OTHER FOREIGN MATERIAL LARGER THAN 1" IN ANY DIMENSION, A PH FROM 5.5 TO 7.0. TOP SOIL FROM SITE SHALL BE USED, IF MEETING THESE STANDARDS. PLACE 1/2" COMPOST OVER ALL LANDSCAPED AREAS AND ROTOTILL INTO TOP 4". SPREAD, COMPACT, AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE. 1" BELOW SURFACE OF WALKS AND CURBS IN AREAS TO BE SODDED AND 3" IN PLANTING BED AREAS.
- 7. FERTILIZE ALL TREES AND SHRUBS WITH 'AGRIFORM' PLANTING TABLETS, 21 GRAM. QUANTITY PER MANUFACTURER'S RECOMMENDATION.
- 8. PLANT MATERIAL SHALL NOT BE SUBSTITUTED WITHOUT THE WRITTEN PERMISSION OF OWNER. SUBMIT NAMES OF THREE SUPPLIERS CONTACTED IF SUBSTITUTION IS REQUESTED AND PLANT MATERIAL SPECIFIED IS NOT AVAILABLE.
- 9. SHRUB PLANTING BEDS SHALL BE SHOVEL EDGED TO CREATE A DISTINCT SEPARATION OF LANDSCAPE TYPES.
- 10. IMMEDIATELY CLEAN UP ANY TOPSOIL, OR OTHER DEBRIS ON SITE CREATED FROM LANDSCAPE OPERATION AND DISPOSE OF PROPERLY OFF SITE.
- 11. ALL LANDSCAPE AREAS SHALL HAVE AN STATE OF THE ART AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH INSURES COMPLETE COVERAGE AND IS PROPERLY ZONED FOR REQUIRED WATER USES AND HAS A WEATHER STATION CAPABLE OF TURNING OFF FOR RAIN/FREEZE EVENTS. ALL SHRUB ZONES, SPRAY ZONES AND GEAR DRIVEN ZONES SHALL BE PLACED ON SEPARATE ZONES. DO NOT EXCEED A MAXIMUM OF 5 FPS IN ALL MAINLINE AND LATERAL LINES.
- 12. COORDINATE ALL DRAINAGE AREAS AND UTILITIES WITH TREE LOCATIONS AND ADJUST PER FIELD CONDITIONS.
- 13. ALL EXISTING TREES SHOWN TO REMAIN SHALL BE RETAINED AND PROTECTED THROUGH OUT CONSTRUCTION.
- 14. NO TREES SHALL BE PLANTED WITHIN THE 10 FOOT CLEAR ZONE OF ALL ACHD STORM DRAIN PIPE, STRUCTURES, OR FACILITIES.
- 15. STORM PONDS MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.
- 16. ALL TREES TO BE LOCATED A MINIMUM OF 5 FEET OR GREATER FROM THE BACK OF ANY SIDEWALK.
- 17. TRIM ALL TREES WITHIN VISION TRIANGLES TO 8' ABOVE FINISH GRADE TO MEET ACHD STANDARDS.

IRRIGATION NOTES:

- 1. ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH INSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES. EACH HYDROZONE IS TO BE IRRIGATED WITH SEPARATE INDIVIDUAL STATIONS.
- 2. PLANTER BEDS AND LAWN AREAS ARE TO HAVE SEPARATE HYDRO-ZONES.
- 3. POP-UP SPRINKLER HEADS SHALL HAVE A MINIMUM RISER HEIGHT OF 4 INCHES AT LAWN AREAS AND 18" AT PLANTER BEDS.
- 4. PLANTER BEDS ARE TO HAVE DRIP IRRIGATION SYSTEM OR POP-UP SPRAY SYSTEM.
- 5. ELECTRONIC WATER DISTRIBUTION/ TIMING CONTROLLERS ARE TO BE PROVIDED. MINIMUM CONTROLLER REQUIREMENTS ARE AS FOLLOWS:
 - a. PRECISE INDIVIDUAL STATION TIMING
 - b. RUN TIME CAPABILITIES FOR EXTREMES IN PRECIPITATION RATES
 - c. AT LEAST ONE PROGRAM FOR EACH HYDROZONE
 - d. SUFFICIENT MULTIPLE CYCLES TO AVOID WATER RUN-OFF
 - e. POWER FAILURE BACKUP FOR ALL PROGRAMED INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
- 6. INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
- 7. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% HEAD TO HEAD COVERAGE WITH TRIANGULAR SPACING.
- 8. SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES (BUILDINGS, SIDEWALKS, DRIVEWAYS, AND ASPHALT AREAS).
- 9. PROVIDE MINIMUM (1) QUICK COUPLER VALVE PER EACH (6) AUTOMATIC VALVE ZONES. APPROVE Q.C.V. LOCATIONS WITH LANDSCAPE ARCHITECT.
- 10. POINT OF CONNECTION TO BE APPROVED BY JURISDICTION PROVIDING WATER SOURCE.

TREE MITIGATION NOTES:

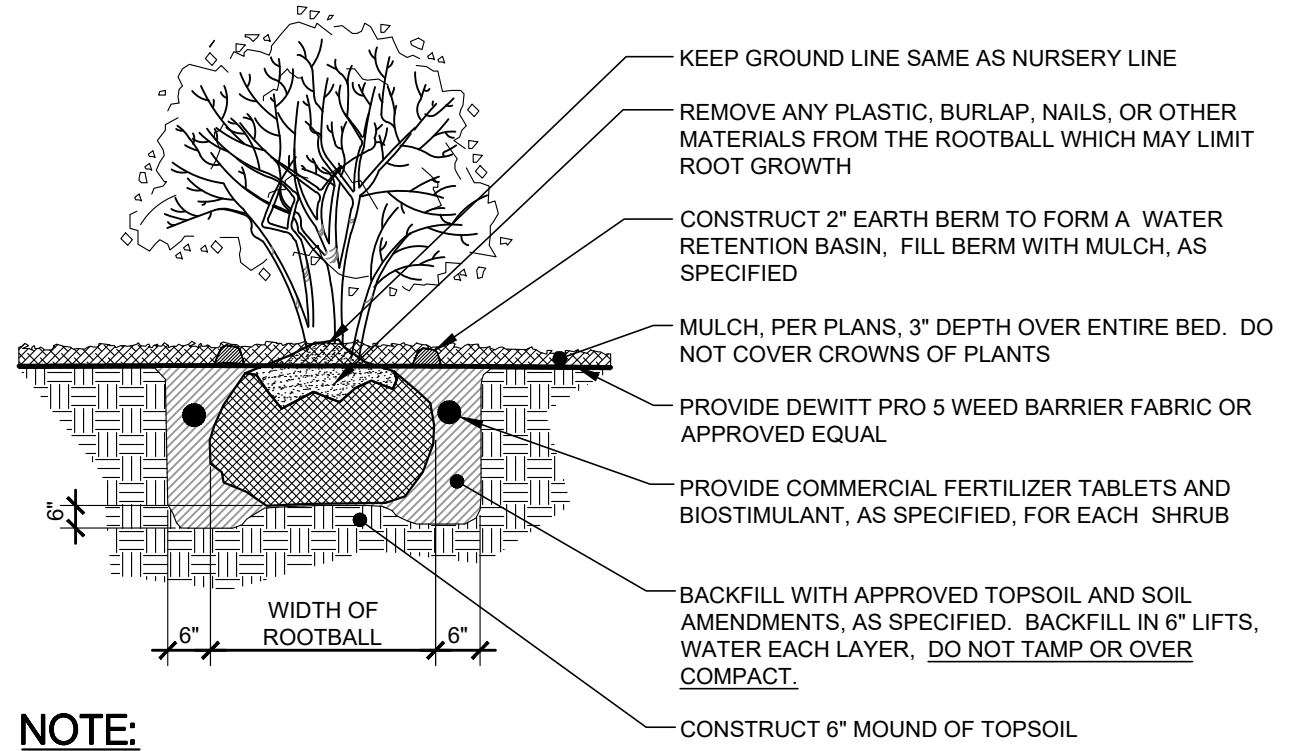
- 1. THE LANDSCAPE ARCHITECT WILL MEET WITH THE CITY ARBORIST TO ESTABLISH MITIGATION REQUIREMENTS FOR REMOVAL OF EXISTING TREES.



NOTES:

- 1. THE STAKING OF TREES IS TO BE THE CONTRACTORS OPTION; HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR LENGTH OF WARRANTY PERIOD OR 1 YEAR AFTER SUBSTANTIAL COMPLETION WHICHEVER IS GREATER. ALL STAKING SHALL BE REMOVED AT THE END OF THE WARRANTY PERIOD.
- 2. IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
- 3. LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL.
- 4. WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPAGE.
- 5. WATER TREE TWICE WITHIN THE FIRST 24 HOURS.
- 6. IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
- 7. FOR TREES LOCATED WITHIN 2'-0" OF A CONCRETE CURB OR WALKWAY, PROVIDE TREE ROOT BARRIER (DEEPROOT #24-2 OR APPROVED EQUAL). LOCATE ROOT BARRIER AT BACK OF CURB AND EDGE OF SIDEWALK. EXTEND ROOT BARRIER TO 80% OF MATURE TREE CANOPY. ALL TREE INSTALLATIONS SHALL CONFORM TO ALL AGENCY APPROVAL REQUIREMENTS, CONTRACTOR SHALL VERIFY PRIOR TO ANY INSTALLATIONS.

DECIDUOUS TREE PLANTING

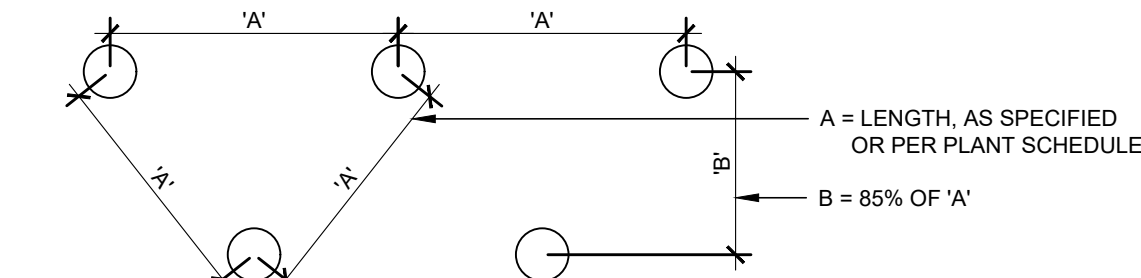


NOTE:

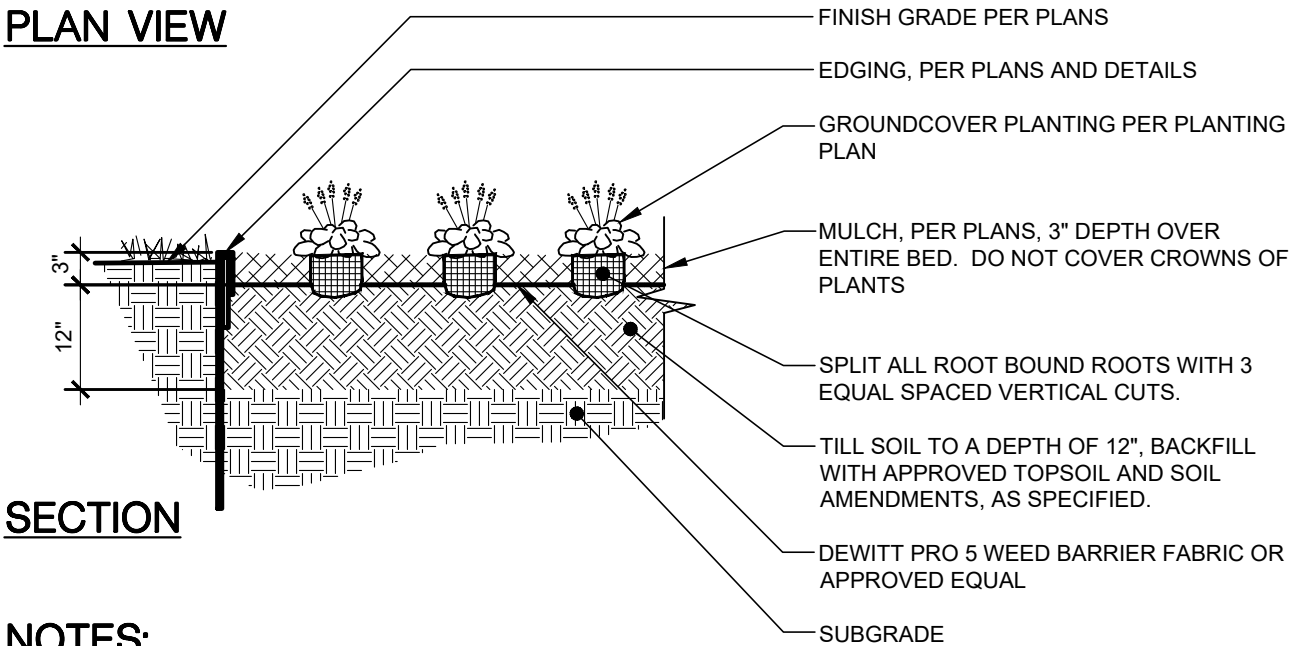
- 1. WATER SHRUB TWICE WITHIN FIRST 24 HOURS.
- 2. APPLY SPECIFIED PRE-EMERGENT PER MANUFACTURER'S RECOMMENDATIONS TO ALL GROUNDCOVER BEDS.

SHRUB PLANTING

SPACING "D"	ROW "A"	NO. OF PLANTS	AREA UNIT
6" O.C.	5.2"	7.80	1 SQ. FT.
8" O.C.	6.93"	5.425	1 SQ. FT.
10" O.C.	8.66"	3.46	1 SQ. FT.
12" O.C.	10.4"	1.95	1 SQ. FT.
15" O.C.	13.0"	1.35	1 SQ. FT.
18" O.C.	15.6"	.87	1 SQ. FT.
24" O.C.	20.8"	.5976	1 SQ. FT.
30" O.C.	26.0"	.3886	1 SQ. FT.
36" O.C.	31.2"	.2150	1 SQ. FT.



PLAN VIEW

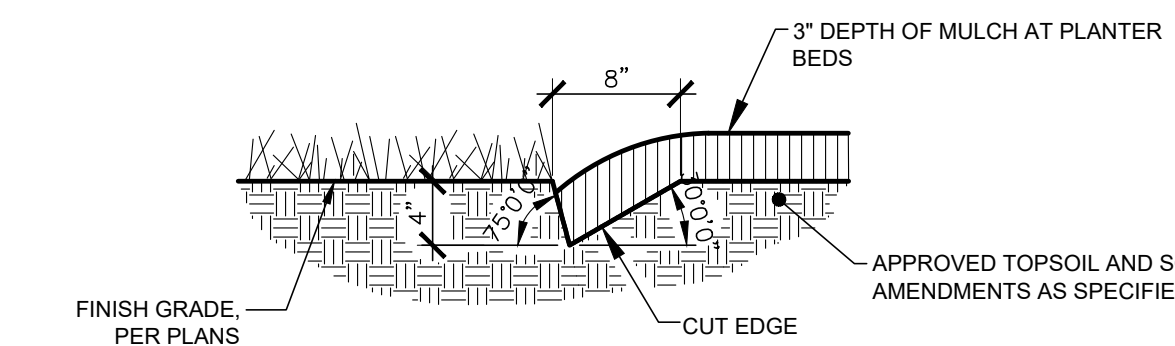


SECTION

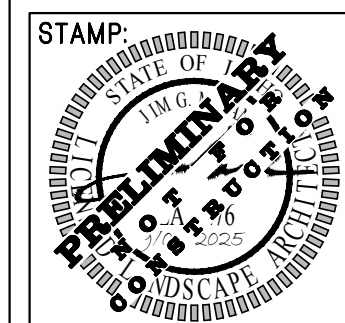
NOTES:

- 1. ALL GROUNDCOVER PLANTS TO BE PLANTED ON CENTER AND IN A TRIANGULAR PATTERN.
- 2. APPLY SPECIFIED PRE-EMERGENT PER MANUFACTURER'S RECOMMENDATIONS TO ALL GROUNDCOVER BEDS.

PERENNIAL & GROUNDCOVER PLANTING



PLANTER BED CUT EDGE (TYPICAL AT TREES IN TURF AREAS)



DATE: 09/05/25

811 Before you dig, Call before you dig. Know what's below you. Call 811. 24 HOURS A DAY. 7 DAYS A WEEK. FOR YOUR SAFETY. AND THE SAFETY OF THE COMMUNITY. MEMBER UTILITIES

2002 S. Vista Ave
Boise, ID 83705
208.342.2999 Office
info@sbbgo.com
www.sbbgo.com

SOUTH BECK & BAIRD
South Landscape Architecture P.C.
Dba South Beck & Baird Landscape Architecture P.C.

Copyright © 2025
All rights reserved. Reproduction or use in any form or by any means without written permission of South Landscape Architecture P.C. Copy, Draft, Scan & Print Landscape Architecture P.C. is unlawful and subject to criminal prosecution.

REVISIONS:		
No.	Date	Description

LANDSCAPE NOTES & DETAILS
CALDWELL 6 PLEX
1102 N 3RD AVE CALDWELL, ID

DRAWN BY: scm

CHECKED BY: AUJ

PROJECT NUMBER: 25-228

SHEET:

L2.00

DESIGN REVIEW

Preliminary Plat Narrative – DEAL Submittal
Applicant: Burke Deal, Ideal Custom Homes Inc.
Project Title: Townhouse Subdivision – Parcel R02125
Property Address: 2011 N. 3rd Avenue, Caldwell, ID 83605
Zoning Classification: R-2 Medium-Density Residential
Assessor's Parcel Number (APN): R02125
Secondary Access: Joliet Street
Development Program: DEAL (Development Enhanced Agreements for Livability)

Executive Summary
This proposal entails the subdivision of APN R02125 pursuant to the City of Caldwell's DEAL framework to facilitate construction of a six-unit townhouse development. The subject site is strategically positioned for low-impact infill and is consistent with adopted land use and zoning protocols outlined in the City's Comprehensive Plan. The development advances public infrastructure coordination, medium-density housing initiatives, and neighborhood integration consistent with R-2 overlay guidelines.

Subdivision Configuration and Residential Typology
- The preliminary plat subdivides the parcel into six fee-simple lots for vertical townhouse units
- Each dwelling will feature a single-car garage, driveway, and three-bedroom floorplan
- All primary entries and garages are oriented toward N. 3rd Avenue, ensuring consistent urban frontage and visual rhythm
- Setbacks, lot widths, and dimensional compliance align with the R-2 district's prescribed standards

Circulation and Public Frontage Enhancements
- Vehicular ingress/egress is consolidated along N. 3rd Avenue, minimizing access points and preserving traffic flow
- Pedestrian improvements include installation of sidewalks and curb infrastructure along Joliet Street
- Common landscape buffers (15' along N. 3rd Avenue; 10' along Joliet Street) will be implemented to soften urban edges and enhance walkability

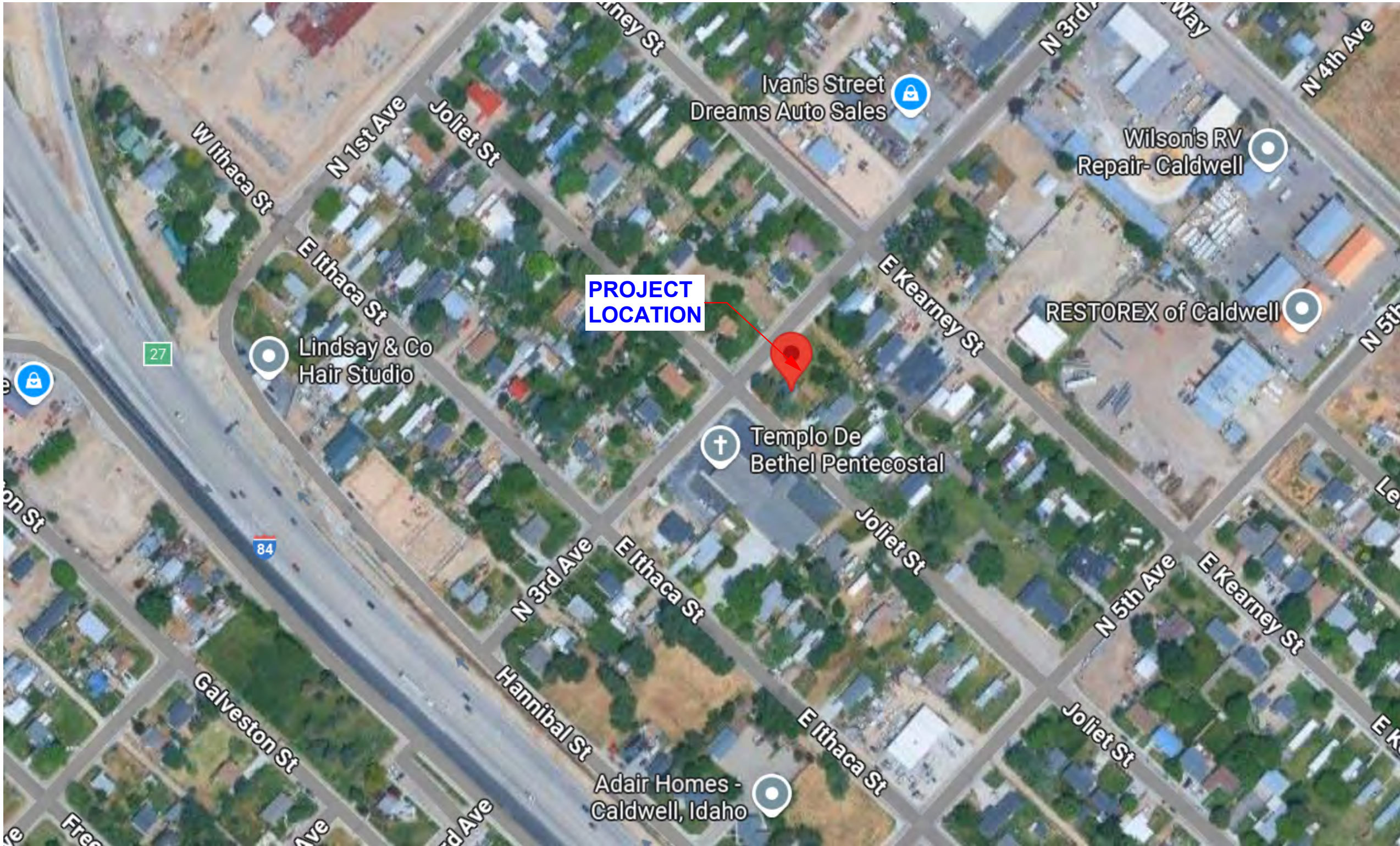
Utility Infrastructure and Easement Coordination
- Municipal water and wastewater conveyance systems are located within N. 3rd Avenue, running continuously parallel to the parcel's northwest boundary
- Municipal irrigation infrastructure is available on the southeast rear property line, abutting Joliet Street and supporting xeriscaping and native plant palettes
- A 19-foot-wide utility easement at the parcel's northeast corner will be preserved for existing City sanitary infrastructure and overhead Idaho Power service. No vertical construction is proposed within easement boundaries

Compliance, Conformance, and Benefit Analysis
This plat meets all statutory and administrative requirements for subdivision approval under the DEAL Program:
- Zoning Conformance: All proposed lots comply with R-2 dimensional standards, use regulations, and density allowances
- Infrastructure Optimization: Existing utility corridors are leveraged to minimize disturbance and installation cost
- Enhanced Livability: Landscape buffers, pedestrian routes, and integrated unit design promote a livable, walkable environment consistent with City vision
- Development Coordination: This project illustrates ideal alignment between private development and public resource allocation

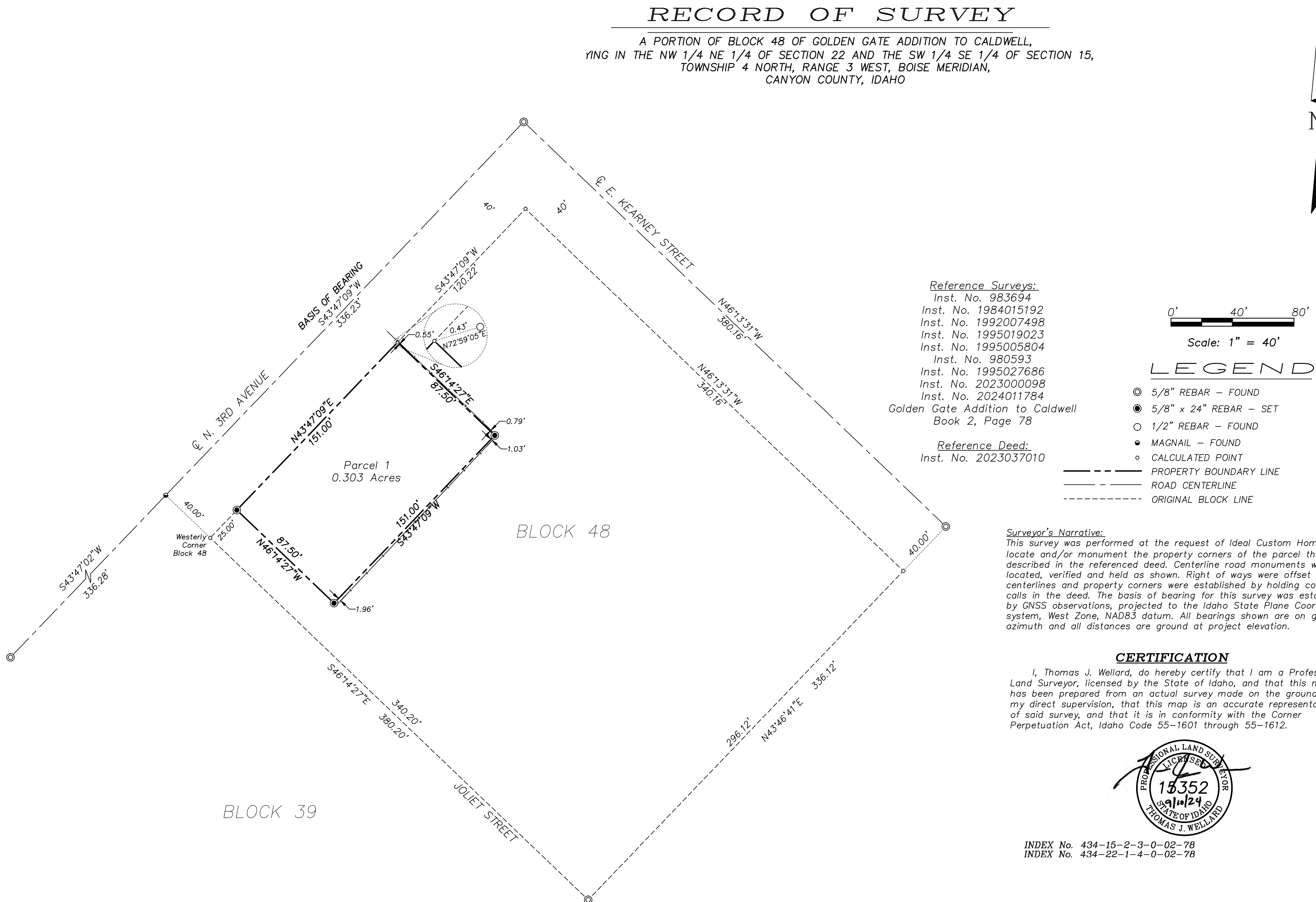
Attachments and Supplemental Documentation
- Scaled Preliminary Plat Drawing
- Lot Configuration Table
- Utility and Easement Exhibit
- Landscape Plan Sheet
- DEAL Program Submittal Checklist

County Recorder of Canyon County, Idaho, and running thence in a North easterly direction along the Northwesternly boundary line of said Block 48 a distance of 176 feet; thence running in a Southeasterly direction on a line parallel with the Southwesterly boundary line of said Block 48 a distance of 87.5 feet; thence running Southwesterly on a line parallel with the foresaid Northwesternly boundary line a distance of 176 feet to a point in the Southwesterly boundary line of said Block 48; thence running Northwesternly along the Southwesterly boundary line of said Block 48 a distance of 87.5 feet to the point of beginning;

Less 25 Foot of Right of Way.



VICINITY MAP



Date	
Description	
Revision No.	

PROFESSIONAL SEAL

DO NOT SCALE DRAWINGS	
Drawn By: LAWSON DESIGN INC.	Date: Monday, September 8, 2025
Scale: As Shown	JOB NUMBER: #PIn

SHEET No:
A-1.1
Drawing Title:
PRELIMINARY PLAT COVER SHEET

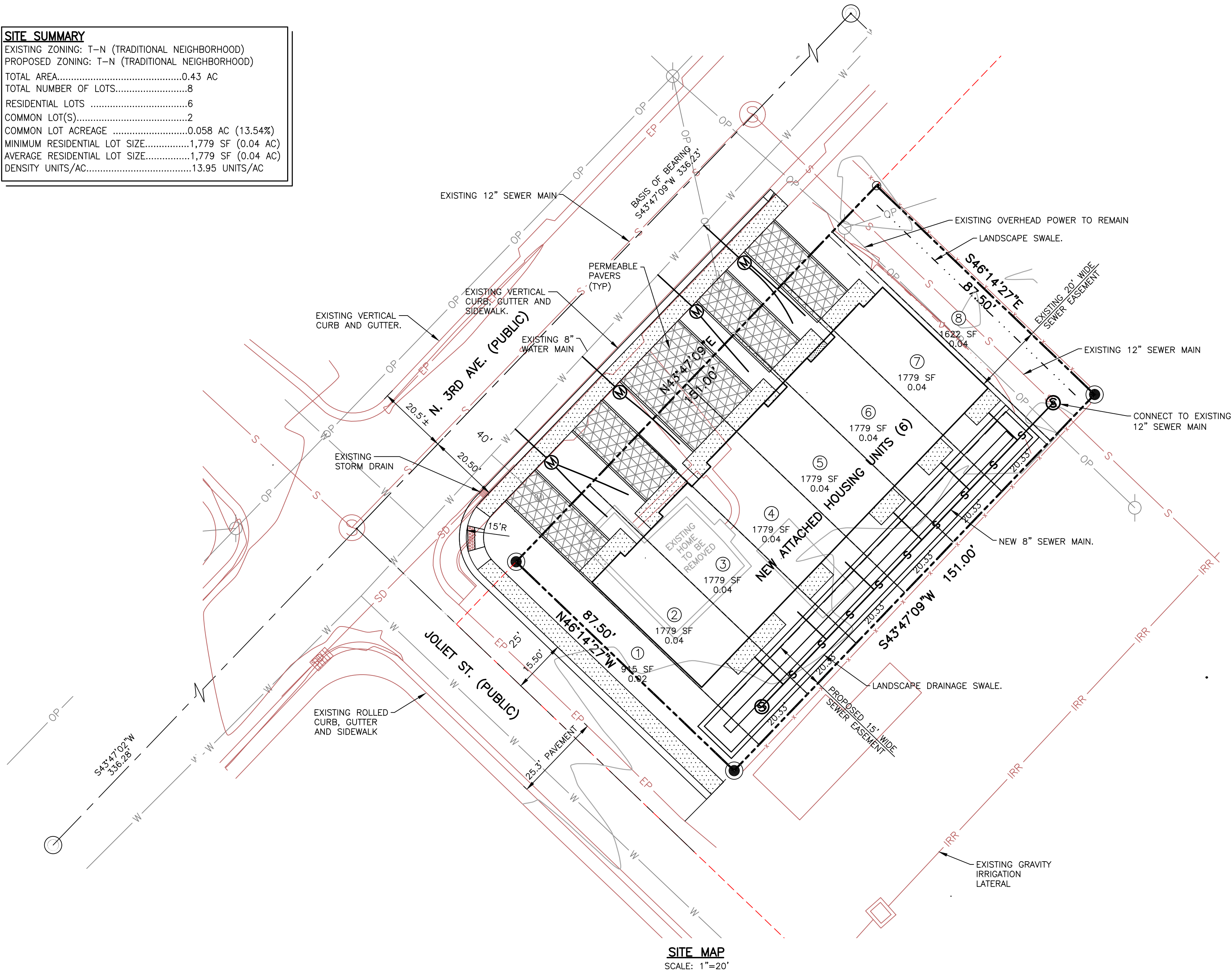
PRELIMINARY PLAT FOR
DEAL SUBDIVISION

A PORTION OF GOLDEN GATE ADDITION TO CALDWELL, LYING IN THE
NW 1/4 NE 1/4 OF SECTION 22 AND THE SW 1/4 SE 1/4 OF SECTION 15 T4N,
R3W, B.M. CALDWELL, CANYON COUNTY, IDAHO
2025



VICINITY MAP
SCALE: 1"=300'

SITE SUMMARY	
EXISTING ZONING:	T-N (TRADITIONAL NEIGHBORHOOD)
PROPOSED ZONING:	T-N (TRADITIONAL NEIGHBORHOOD)
TOTAL AREA.....	0.43 AC
TOTAL NUMBER OF LOTS.....	8
RESIDENTIAL LOTS	6
COMMON LOT(S).....	2
COMMON LOT ACREAGE	0.058 AC (13.54%)
MINIMUM RESIDENTIAL LOT SIZE.....	1,779 SF (0.04 AC)
AVERAGE RESIDENTIAL LOT SIZE.....	1,779 SF (0.04 AC)
DENSITY UNITS/AC.....	13.95 UNITS/AC



SITE MAP
SCALE: 1"=20'

ABBREVIATIONS:		
BRG	BEARING	OPP. OPPOSITE
CL	CENTER LINE	PL PROPERTY LINE
CLR	CLEAR	PC POINT OF CURVE
EG	EDGE OF GRAVEL	PCC POINT OF CONCURRENCE
EL	ELEVATION	PI PRESSURE IRRIGATION
EP	EDGE OF PAVEMENT	PT POINT OF TANGENT
FF	FINISHED FLOOR	RT RIGHT
FG	FINISHED GRADE	S SANITARY SEWER
FL	FLOW LINE	SD STORM DRAIN
FS	FINISHED SURFACE	STA. STATION
G.B.	GRADE BREAK	TBC TOP BACK ROLLED CURB
GR	GRATE	TC TOP BACK CURB
IRR	GRAVITY IRRIGATION	TEL TELEPHONE UTILITY
INV.	INVERT	TRC TOP BACK REVERSE CURB
LT	LEFT	TVC TOP BACK VERTICAL CURB
ME	MATCH EXISTING	TYP. TYPICAL
MJ	MECHANICAL JOINT	W WATER
OP	OVERHEAD POWER	GF GARAGE FLOOR
BVCS	BEGIN VERTICAL CURVE STATION	EVCS END VERTICAL CURVE STATION
BVCE	BEGIN VERTICAL CURVE ELEVATION	EVCE END VERTICAL CURVE ELEVATION

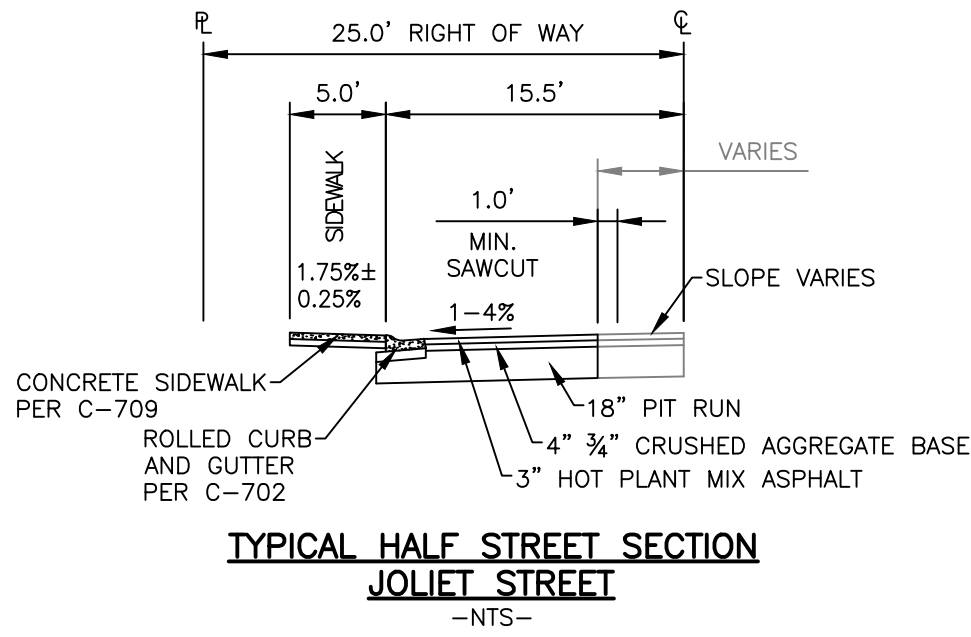
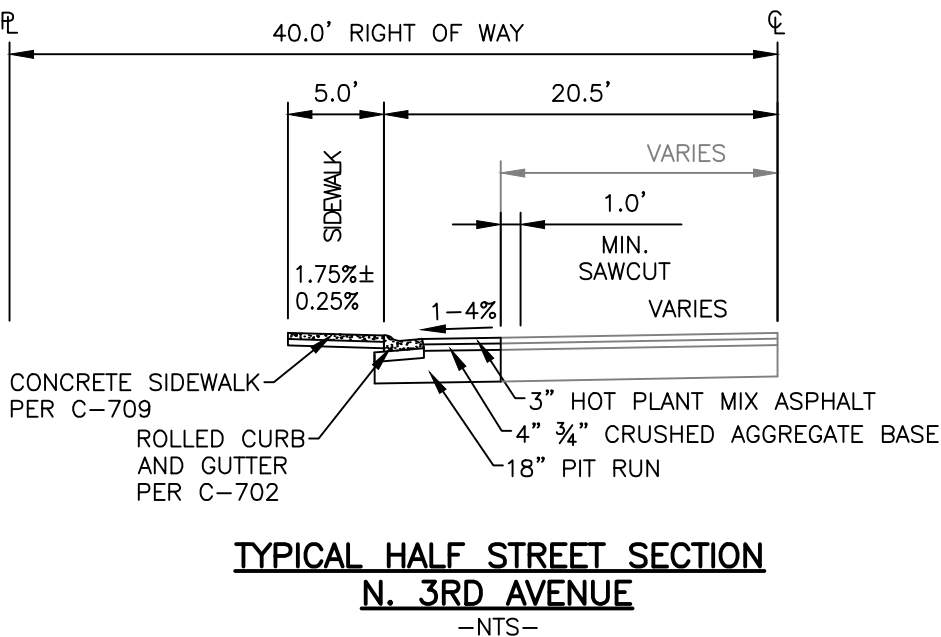
LINETYPES:		SYMBOLS:	
EXISTING CURB & GUTTER	EXISTING SANITARY SEWER	EXISTING SANITARY SEWER MANHOLE	INSTALL SANITARY SEWER MANHOLE
CONSTRUCT CURB & GUTTER	INSTALL SANITARY SEWER MAIN	EXISTING GRAVITY IRRIGATION MANHOLE	INSTALL GRAVITY IRRIGATION MANHOLE
EXISTING STORM DRAIN	INSTALL STORM DRAIN	EXISTING STORM DRAIN MANHOLE	INSTALL STORM DRAIN MANHOLE
INSTALL STORM DRAIN MAIN	EXISTING WATER MAIN	EXISTING VALVE	INSTALL WATER VALVE
EXISTING WATER MAIN	INSTALL WATER MAIN	INSTALL IRRIGATION VALVE	EXISTING WATER METER
APPROXIMATE JOINT TRENCH	EXISTING PRESSURE IRR.	INSTALL WATER METER	EXISTING BLOW-OFF VALVE
INSTALL PRESSURE IRR. MAIN	EXISTING GRAVITY IRRIGATION	INSTALL BLOW-OFF VALVE	EXISTING FIRE HYDRANT
INSTALL GRAVITY IRR. MAIN	LOT LINE	INSTALL FIRE HYDRANT	STORM WATER FLOW
BOUNDARY/PHASE LINE	CENTER LINE	INSTALL STREET LIGHT PER CITY STD	EXISTING IRRIGATION PUMP-OUT
EASEMENT LINE	EXISTING CONTOUR	INSTALL IRRIGATION PUMP-OUT	EXISTING CATCH BASIN INLET
FINISH GRADE CONTOUR	EXISTING EDGE OF PAVEMENT	CONSTRUCT CATCH BASIN INLET	CONSTRUCT PEDESTAL RAMP
EXISTING OVERHEAD POWER	EXISTING FIBER OPTICS	TEST HOLE W/ PERCOLATION TEST	TEST HOLE
EXISTING TELEPHONE	EXISTING GAS LINE	INSTALL STOP SIGN	INSTALL STREET SIGN
INSTALL UNDERGROUND POWER	TOP OF BANK	INSTALL 2-PARTY MAILBOX	EXISTING TREE
TOE OF SLOPE	TOE OF SLOPE	EXISTING UTILITY POLE	EXISTING UTILITY POLE W/ GUY WIRE
EDGE OF PAVEMENT	EDGE OF GRAVEL	EXISTING ELECTRICAL BOX	EXISTING TELEPHONE BOX
SAW CUT LINE	SWALE FLOW LINE	INSTALL CLEAN OUT	

ENGINEER:
LEAVITT & ASSOCIATES ENGINEERS, INC.
1324 1ST STREET SOUTH
NAMPA, IDAHO 83651
(208) 463-0333
jrl@leavittengineers.com
dl@leavittengineers.com

DEVELOPER:
IDEAL CUSTOM HOMES INC.
15777 QUARTZ LANE
WILDER, IDAHO 83676
(208) 794-5732
katie.idealcustomhomes@gmail.com

NOTES:

- CURRENT ZONING IS T-N (TRADITIONAL NEIGHBORHOOD).
- TOTAL NUMBER OF LOTS IN THIS DEVELOPMENT IS 8; 6 RESIDENTIAL LOTS AND 2 COMMON LOTS.
- ALL EXISTING STRUCTURES ON SITE TO BE REMOVED.
- ANY EXISTING DOMESTIC WELLS SHALL BE ABANDONED AND CAPPED PER IDAHO DEPARTMENT OF WATER RESOURCES.
- SANITARY SEWER SYSTEM WILL BE INSTALLED TO INTERCONNECT WITH THE CITY OF CALDWELL SEWER SYSTEM VIA AN EXTENSION FROM THE THE EXISTING 12" MAIN LINE INTERNAL TO THE SITE.
- THE WATER SYSTEM WILL INTERCONNECT WITH THE CITY WATER MAIN WITHIN 3RD STREET.
- PRESSURIZED IRRIGATION WILL BE PROVIDED BY A PRIVATE PUMP STATION, OUT OF THE IRRIGATION LATERAL NEAR THE SOUTH EAST CORNER OF THE SITE IN ACCORDANCE WITH CITY OF CALDWELL CODE SECTION 10-07-12.
- STORM DRAINAGE WILL BE RETAINED ON SITE VIA PERMEABLE PAVERS, AND LANDSCAPE DRAINAGE SWALE.
- ALL LOTS HAVE A 5 FOOT UTILITY EASEMENT ON THE SIDES, AN 8 FOOT UTILITY EASEMENT ON REAR LOT LINES WITHIN THE SUBDIVISION, A 10 FOOT UTILITY EASEMENT ON REAR LOT LINES ALONG THE BOUNDARY.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW) AS MODIFIED BY THE CITY OF CALDWELL SUPPLEMENTAL SPECIFICATIONS AND STANDARDS.
- LOT 4, BLOCK 1 IS A PERMANENT INGRESS, EGRESS, CITY OF CALDWELL SEWER AND WATER MAIN EASEMENT.
- BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY SKINNER LAND SURVEY, 17842 SAND HOLLOW ROAD, CALDWELL, IDAHO, 83607, (208) 454-0933.



THIS DOCUMENT IS THE PROPERTY OF LEAVITT & ASSOCIATES ENGINEERS, INC AND THE DESIGN AND IDEAS WITHIN ARE NOT TO BE USED IN WHOLE OR PART WITHOUT WRITTEN CONSENT OF LEAVITT & ASSOCIATES ENGINEERS, INC.

LEAVITT & ASSOCIATES
ENGINEERS, INC.

STRUCTURAL * CIVIL
SURVEYING



1324 FIRST STREET SOUTH NAMPA IDAHO 83651
PHONE (208)463-0333/463-7670 FAX (208)463-9040

PRELIMINARY PLAT EXHIBIT

DEAL SUBDIVISION
CALDWELL, IDAHO

OWNER/DEVELOPER:
IDEAL CUSTOM HOMES INC.
15777 QUARTZ LANE
WILDER, IDAHO 83676
PHONE (208) 794-5732

SCALE:
AS-NOTED

Sheet Number:
EXH-1

Client	
Date	
Description	
Revision No.	

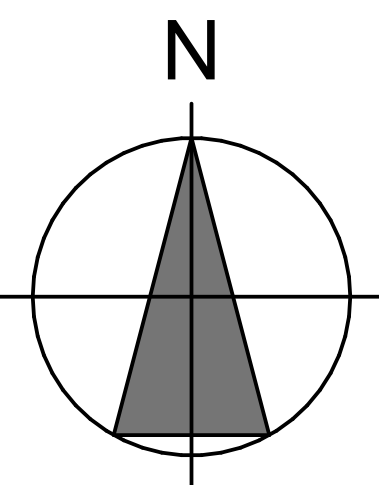
PROFESSIONAL SEAL

DO NOT SCALE DRAWINGS	
Drawn By:	Date:
LAWSON DESIGN INC.	Monday, September 8, 2025
Scale:	JOB NUMBER:
As Shown	#Pin

SHEET No:
A-1.3

Drawing Title:
**ARCITECTURAL
SITE PLAN**

PRINT DATE: 9/8/2025, 2:59 PM



DEAL SUBDIVISION
WESTERLY CORNER OF BLOCK 48
1102 N. 3RD AVENUE
CALDWELL, CANYON COUNTY, IDAHO



1 SITE PLAN
SCALE: 3/32" = 1'-0"

